



Polk County Polk County Land Use Hearing Officer

Meeting Agenda - Final

June 25, 2026 Land Use Hearing Officer meeting

CALL TO ORDER: 1:30 P.M. OR AS SOON THEREAFTER AS THE PARTICULAR CASE MAY BE HEARD

MINUTES APPROVAL:

Minutes for April 23, 2026, LUHO Hearing Date

NEW BUSINESS:

AGENDA ITEM:

1. LDLVAR-2026-18 (Anderson Road Variance)
2. LDLVAR-2026-22 (Chaisson Variance)
3. LDLVAR-2026-28 (Grand Canal Dr Variance)
4. LDLVAR-2026-39 (Lake Buffum Road Variance)

ADJOURNMENT:



Polk County
Polk County Land Use Hearing Officer

Agenda Item

6/25/2026

SUBJECT

Minutes for April 23, 2026, LUHO Hearing Date

DESCRIPTION

Minutes for April 23, 2026, LUHO Hearing Date

RECOMMENDATION

Approval of minutes

FISCAL IMPACT

Click or tap here to enter text.

CONTACT INFORMATION

Saralis Wons saraliswons@polkfl.gov <<mailto:saraliswons@polkfl.gov>> 863.534.6479



Polk County Polk County Land Use Hearing Officer

Meeting Minutes - Final

April 23, 2026 Land Use Hearing Officer meeting

CALL TO ORDER: 1:30 P.M. OR AS SOON THEREAFTER AS THE PARTICULAR CASE MAY BE HEARD

MINUTES APPROVAL:

February 26, 2026, Land Use Hearing Officer Meeting Minutes

OLD BUSINESS:

1. LDLVAR-2025-78 - 2787 Recker HWY - Withdrawn

Minutes: CASE FILE # LDLVAR-2025-78 - WITHDRAWN

NEW BUSINESS:

AGENDA ITEM:

2. LDLSE-2026-3 (Country Club Road SE)

Minutes: CASE FILE # LDLSE-2026-3 - Aleya

Johnathan Gonzalez, property owner, is requesting a Special Exception to allow a commercial vehicle parking in a Residential Low-1 (RL-1) land use district. The location of the property is 2840 North Country Club Road, east of Rankin Road, west of Kendall Lane, southwest of Winter Haven, Florida, in Section 14, Township 28, Range 26.

Erik Peterson, Land Development, presented the case and reported that 18 mailers were sent on 4/9/2026 with 2 oppositions. 1 board was posted on 4/2/2026, and the legal ad was published in the Polk Sun on 4/8/2026.

Aleya Inglima, Case Planner, showed a power point presentation; has a recommendation of approval and stood for questions.

The owner, Johnathan Gonzalez was available to answer questions and agrees with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

3. LDLVAR-2026-1 (Shinabarker Variance)

Minutes: CASE FILE # LDLVAR-2026-1 - Andrew

Kevin Shinabarker, property owner, is requesting a side yard setback reduction for an accessory structure in the Imperial Lakes DRI #4 and (PUD 73-5). The location of the property is 3822 Marquise Lane, north of State Road 60, west of Imperial Lakes Boulevard, east of Laurel Crest Drive, south of Garnet Drive, northwest of the City of Mulberry, Florida, in Section 34, Township 29, Range 23.

Erik Peterson, Land Development, presented the case and reported that 36 mailers were sent on 4/9/2026 with no response. 1 board was posted on 4/2/2026, and the legal ad was published in the Polk Sun on 4/8/2026.

Andrew Grohowski, Case Planner; showed a power point presentation, has a recommendation of approval, and stood for questions.

The owner, Kevin Shinabarker, was available to answer questions and agrees with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

4. LDLVAR-2026-2 (Public Storage Davenport) - Cont. 5/28/2026

Minutes: CASE FILE # LDLVAR-2026-2 - CONTINUED TO 5/28/2026

Thomas Sullivan, applicant, and PS Florida One, LLC, owner, are requesting a variance to reduce the right-of-way setbacks for a commercial structure in a Professional Institutional (PIX) land use district. The location of the property is 2375 Sand Hill Road, west of US Highway 27, north of Holly Hill Tank Road, east of FDC Grove Road, north and east of Haines City, Florida, in Section 30, Township 26, Range 27.

5. LDLVAR-2026-5 (Byron Variance)

Minutes: CASE FILE # LDLVAR-2026-5 - Andrew

Joelle Byron, property owner, is requesting a front yard setback reduction and an accessory structure interior side reduction for the construction of a detached garage in a Rural Cluster Center-Residential-X (RCC-RX) land use district and the Southeast Village Selected Area Plan (SAP). The location of the property is 22 Hillcrest Drive, south and west of State Road 17 (Scenic Highway), north of Seminole Road, east of Catherine Avenue, east of Hillcrest Heights, Florida, in Section 33, Township 30, Range 28.

Erik Peterson, Land Development, presented the case and reported that 17 mailers were sent on 4/9/2026 with no response. 2 board was posted on 4/9/2026, and the legal ad was published in the Polk Sun on 4/8/2026.

Andrew Grohowski, Case Planner; showed a power point presentation, has a recommendation of approval, and stood for questions.

The owner, Joelle Byron, was available to answer questions and agrees with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

6. LDLVAR-2026-6 (Slenk Variance)

Minutes: CASE FILE # LDLVAR-2026-6 - Kyle

Timothy Slenk, applicant, and Timothy and Ellen Slenk, property owners, are requesting a primary structure right-of-way setback reduction and a side setback reduction for the expansion of an existing carport within a Residential Low-4 (RL-4) land use district. The location of the property is 4093 Rolling Oaks Drive, north of Thornhill Road, south of Highway 540, east of Thornhill Estates Road, west of Spirit Lake Road, and west of the City of Eagle Lake, Florida, in Section 02, Township 29, Range 25.

Erik Peterson, Land Development, presented the case and reported that 35 mailers were sent on 4/9/2026 with no response. 1 board was posted on 4/3/2026, and the legal ad was published in the Polk Sun on 4/8/2026.

Kyle Rogus, Case Planner; showed a power point presentation, has a recommendation of approval, and stood for questions.

The owner, Timothy Slenk, was available to answer questions and agrees with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

7. LDLVAR-2026-7 (Chambers Street Variance)

Minutes: CASE FILE # LDLVAR-2026-7 - Ian

Lisa Wilson, The Permit Tech, Inc., applicant, and Kyle Mocabee, property owner, are requesting a variance to the LDC, Section 209.G to allow a detached accessory structure to be larger than the primary structure in an Agricultural/Residential Rural (A/RR) land use district. The location of the property is 3943 Chambers Street, south of Lake Point Boulevard, east of Walk in Water, north of Dixie Street, east of Frostproof, Florida, in Section 32, Township 30, Range 29.

Erik Peterson, Land Development, presented the case and reported that 20 mailers were sent on 4/9/2026 with no response. 1 board was posted on 4/3/2026, and the legal ad was published in the Polk Sun on 4/8/2026.

Ian Nance, Case Planner; showed a power point presentation, has a recommendation of approval, and stood for questions.

The owner, Timothy Slenk, was available to answer questions and agrees with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

8. LDLVAR-2026-8 (Salmeron Variance)

Minutes: CASE FILE # LDLVAR-2026-8 - Kyle

Samuel Salmeron, property owner, is requesting a side and rear setback reduction for an accessory structure, and a primary structure rear setback reduction for an attached screened room in a Residential Suburban (RS) land use district. The location of the property is 34 Sunset Circle, north of Highway 92, south of Lake Alfred Road, east of Dairy Road, west of Lynchburg Road, west of the City of Lake Alfred, Florida, Section 06, Township 28, Range 26.

Erik Peterson, Land Development, presented the case and reported that 28 mailers were sent on 4/9/2026 with no response. 1 board was posted on 4/3/2026, and the legal ad was published in the Polk Sun on 4/8/2026.

Kyle Rogus, Case Planner; showed a power point presentation, has a recommendation of approval, and stood for questions.

The owner, Samuel Salmeron, was available to answer questions and agrees with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

9. LDLVAR-2026-11 (Willow Drive ADU)

Minutes: CASE FILE # LDLVAR-2026-11 - Erik

Maximo Castizo Hernandez, applicant, and Maximo Castizo Hernandez, Florelia Reyes Roque, and Angel Miguel Castizo, Jr., property owners, are requesting a variance for an accessory dwelling unit (ADU) larger than 1,000 square feet and a rear setback variance in a Residential Suburban (RS) land use district. The location of the property is 4082 Willow Drive North, east of Willow Drive West, north of Willow Drive South, east of Willow Oak Road, north of State Road 60, east of the town of Mulberry, Florida, in Section 33, Township 29, Range 23.

Erik Peterson, Land Development; presented the case and reported that 30 mailers were sent on 4/9/2026 with no response. 1 board was posted on 4/7/2026, and the legal ad was published in the Polk Sun on 4/8/2026. He proceeded to show a power point presentation, has a recommendation of approval, and stood for questions.

The owner, Maximo Castizo Hernandez, was available to answer questions and agrees with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

ADJOURNMENT:

Minutes: 2:36 pm



Polk County
Polk County Land Use Hearing Officer

Agenda Item 1.

6/25/2026

SUBJECT

LDLVAR-2026-18 (Anderson Road Variance)

DESCRIPTION

The applicant is requesting a variance to allow an accessory structure to be larger than the primary structure. The subject site is located 5804 Anderson Road, North of Cow Pen Road, east of 80 Foot Road, south of E Hwy 60, east of the city of Bartow in Section 07, Township 30, Range 26.

RECOMMENDATION

Conditional Approval

FISCAL IMPACT

No Fiscal Impact

CONTACT INFORMATION

Aleya Inglima

Land Development Division

(863) 534-6764

aleyainglima@polkfl.gov

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date:	May 14, 2026	CASE #:	LDLVAR-2026-18 (Anderson Road Variance)
LUHO Date:	June 25, 2026	LDC Section:	Section 209.G

Request: The applicant is requesting a variance to allow an accessory structure to be larger than the primary structure.

Applicant: Timothy Moss

Property Owner: Timothy Moss, Sarah Moss

Location: 5804 Anderson Road, North of Cow Pen Road, east of 80 Foot Road, south of E Hwy 60, east of the city of Bartow in Section 07, Township 30, Range 26.

Parcel ID#: 263007-000000-031250

Size: ±1.26 acres

Land Use Designation: Agriculture/Residential Rural-X (A/RRX), Gateway SAP

Development Area: Rural Development Area (RDA)

Case Planner: Aleya Inglima, Planner II

Summary:

The applicant is requesting a variance to allow an accessory structure to be larger than the primary structure. The accessory structure is 40 x 36 (1,440 sq. ft.) and will be used as a carport. The primary home is approximately 1,404 sq. ft. The accessory structure in question is larger by 36 sq. ft. It will be located to the side of the home, which is permitted. The property is within an Agriculture/Residential Rural-X (A/RRX) future land use district. Pursuant to Section 209.G of the Land Development Code, an accessory structure may be permitted to be larger than the primary with the approval of a variance from the Land Use Hearing Officer pursuant to Section 930 and 931.

Staff finds this request will cause no harm to the community. The subject parcel is surrounded by a cluster of lots ranging in size from an acre to five acres and in some cases larger. The home does not have a garage. It is common in this area for residential properties to have large accessory structures.

Staff recommends approval of LDLVAR-2026-18 as it meets the following criteria listed in Section 931:

- **Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.** Prior to Hurricane Ian the applicant had a carport, but the hurricane destroyed it. A pole barn was put back in the same place as the carport because it was more cost efficient. The home does not have a garage and many other residential properties in the area have large accessory structures.

Development Review Committee

The Development Review Committee, based on the criteria for granting variances, the submitted application, and a recent site visit, finds that the applicant's request as written **IS CONSISTENT** with Section 931 of the Polk County Land Development Code (LDC) and recommends **APPROVAL of LDLVAR-2026-18.**

CONDITIONS OF APPROVAL:

1. The approval of this variance is to Section 209.G of the Land Development Code to allow an accessory structure to be larger than the primary structure as described in the staff report. Further additions or structures placed on the property shall be required to meet the setback requirements of Table 2.2 of the Polk County Land Development Code or re-apply for another variance approval from the Land Use Hearing Officer.
2. This variance does not authorize any encroachments into easements, and the applicant shall be responsible to make certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.
3. The applicant shall have one (1) year from the date the Land Use Hearing Officer's Final Order is rendered to apply for all necessary building permits and pay all associated fees for the proposed addition.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other interested parties at a public hearing.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submissions of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with the LDC.

**DEMONSTRATIONS OF THE CRITERIA FOR GRANTING VARIANCES
SUMMARIZED BELOW:**

1. *Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

The subject parcel is in an area with a cluster of lots ranging in size from an acre to five acres and in some cases larger. The subject site is smaller than 5 acres. The accessory structure is 40 x 36 (1,440 sq ft) and will be used for storage of vehicles. The primary home is approximately 1,404 sq ft. The accessory structure in question is larger by 36 sq ft. The structure will be over 70 feet from the nearest neighboring home. The garage will meet all setbacks for the A/RR land use district. Granting the subject request will not be injurious to the area as the property prior to Hurricane Ian had a carport, but the hurricane destroyed it. A pole barn was put back in the same place as the carport because it was more cost efficient. The home does not have a garage and many other residential properties in the area have large accessory structures. Accessory structures are permitted on residential properties in accordance with Section 209 of the LDC.

2. *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

This property is located in the A/RRX land use district and is approximately 1.26 acres. This lot is smaller than the A/RRX minimum lot size of 5 acres. The property is part of the unrecorded Royal Ranches subdivision. If the property met five acres within the A/RR land use, the applicant would not need a variance. This is due to Section 209.G allowing accessory structures administratively to be permitted up to 150 % of the principal structure square footage or height.

3. *Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant;*

The owner purchased the property in March 2022, according to the Polk County Property Appraiser. The mobile home was constructed in 2003 at 1,404 square feet. The pole barn exists on the property. The structure was installed without a permit; however, the applicant is now seeking to bring the property into compliance through this variance request and building permit (BR-2025-3624). The owner would like to use the pole barn to park their vehicles and protect them from the elements.

4. *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant;*

Every variance approval is a special privilege. This property is approximately 1.26 acres and has sufficient space for the proposed structure. Accessory structures are permitted on residential properties in accordance with Section 209 of the LDC.

5. *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

The requested variance is believed to be the minimal variance necessary to optimize the use of the owner’s land. Prior to Hurricane Ian the applicant had a carport, but the hurricane destroyed it. A pole barn was put back in the same place as the carport because it was more cost efficient. The home was built in 2003 and does not have a garage.

6. *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;*

Granting this variance will not result in a change of land use.

7. *Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of this Code; and*

Granting this request is not anticipated to result in the creation of a lot or parcel that does not meet the requirements of the Code.

8. *Whether that the granting of the variance does not circumvent a condition, or the intent of a condition placed on a development by the Planning Commission or the BoCC.*

Granting this variance will not circumvent a condition or the intent of a condition placed on the development by the Planning Commission or the BoCC.

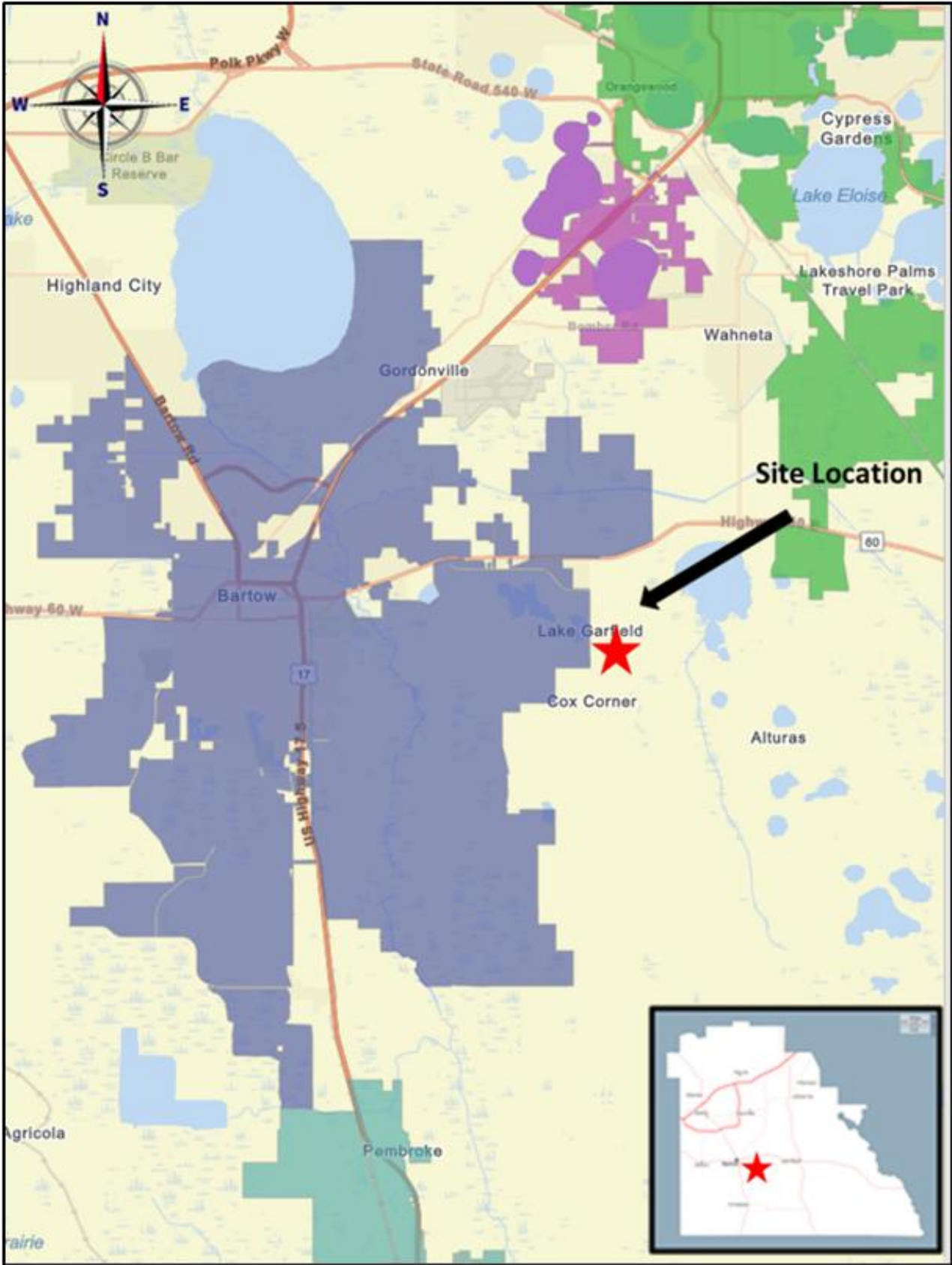
Surrounding Future Land Use Designations and Existing Land Use Activity:

Northwest: A/RRX Pasture	North: A/RRX Pasture	Northeast: A/RRX Single family home
West: A/RRX Single family home	Subject Property: A/RRX Single family home	East: A/RRX Single family home
Southwest: A/RRX Pasture	South: A/RRX Pasture	Southeast: A/RRX Pasture

This property is a single-family home along an access easement in Bartow, Florida. Staff found no other prior variances in this area.

Exhibits:

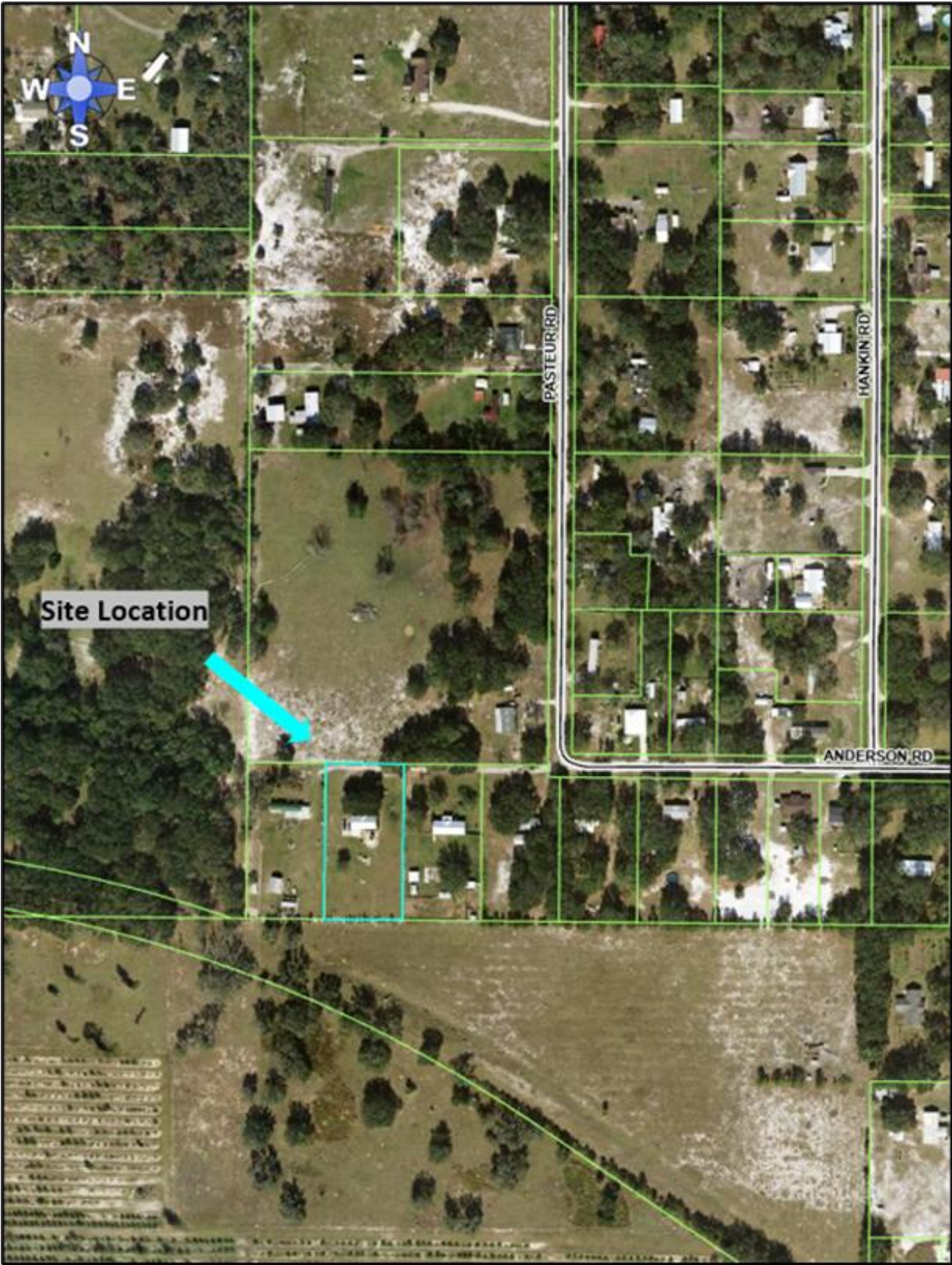
- Exhibit 1 Location Map
- Exhibit 2 Future Land Use Map
- Exhibit 3 Aerial Imagery (Context)
- Exhibit 4 Aerial Imagery (Close)
- Exhibit 5 Site Plan
- Exhibit 6 Applicant’s Justification



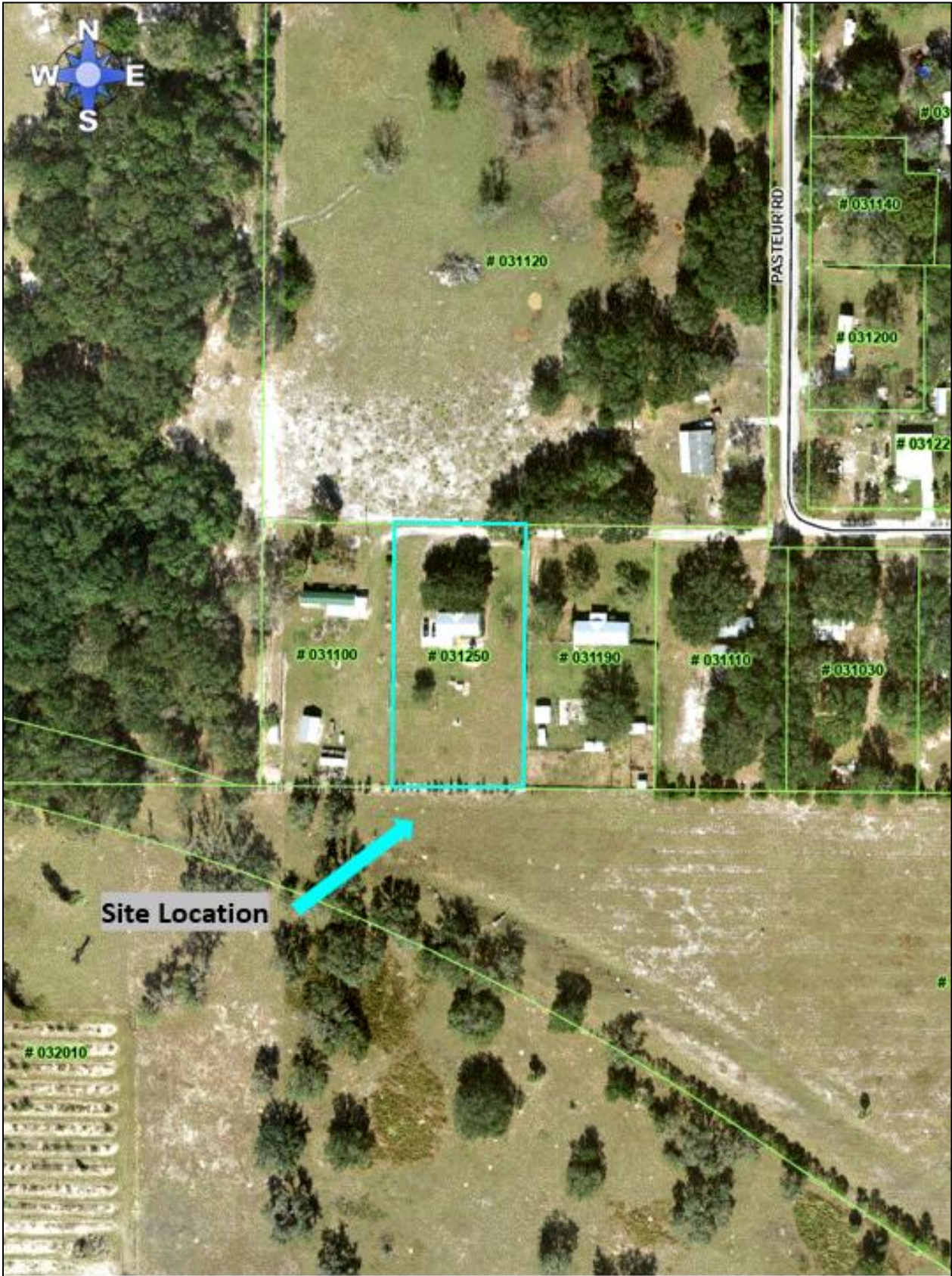
Location Map



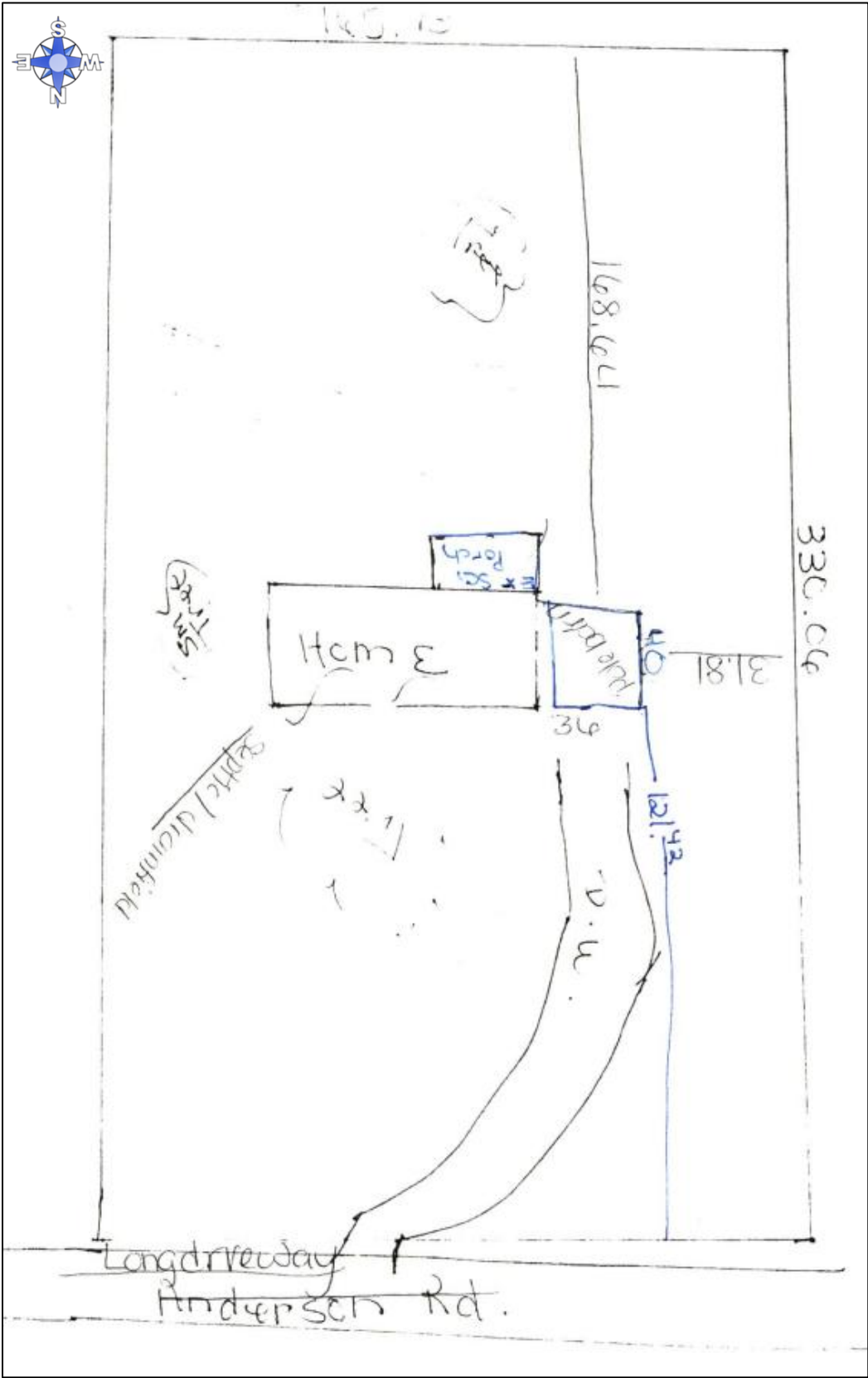
Future Land Use Map



Aerial Imagery (Context)



Aerial Imagery (Close)



Site Plan

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?
 No

What special conditions exist that are peculiar to the land, structure, or building involved?
 Prior to hurricane Ian we had a carport that was added in 2017. The hurricane destroyed the carport. We had a pole barn put back in the same place as the carport because it was more cost efficient. To replace the carport was going to cost more money then having a pole barn put in the same place as the carport.

When did you buy the property and when was the structure built? Permit Number?
 Property was bought in 2002 and the carport was done in 2017 after we had our oldest son

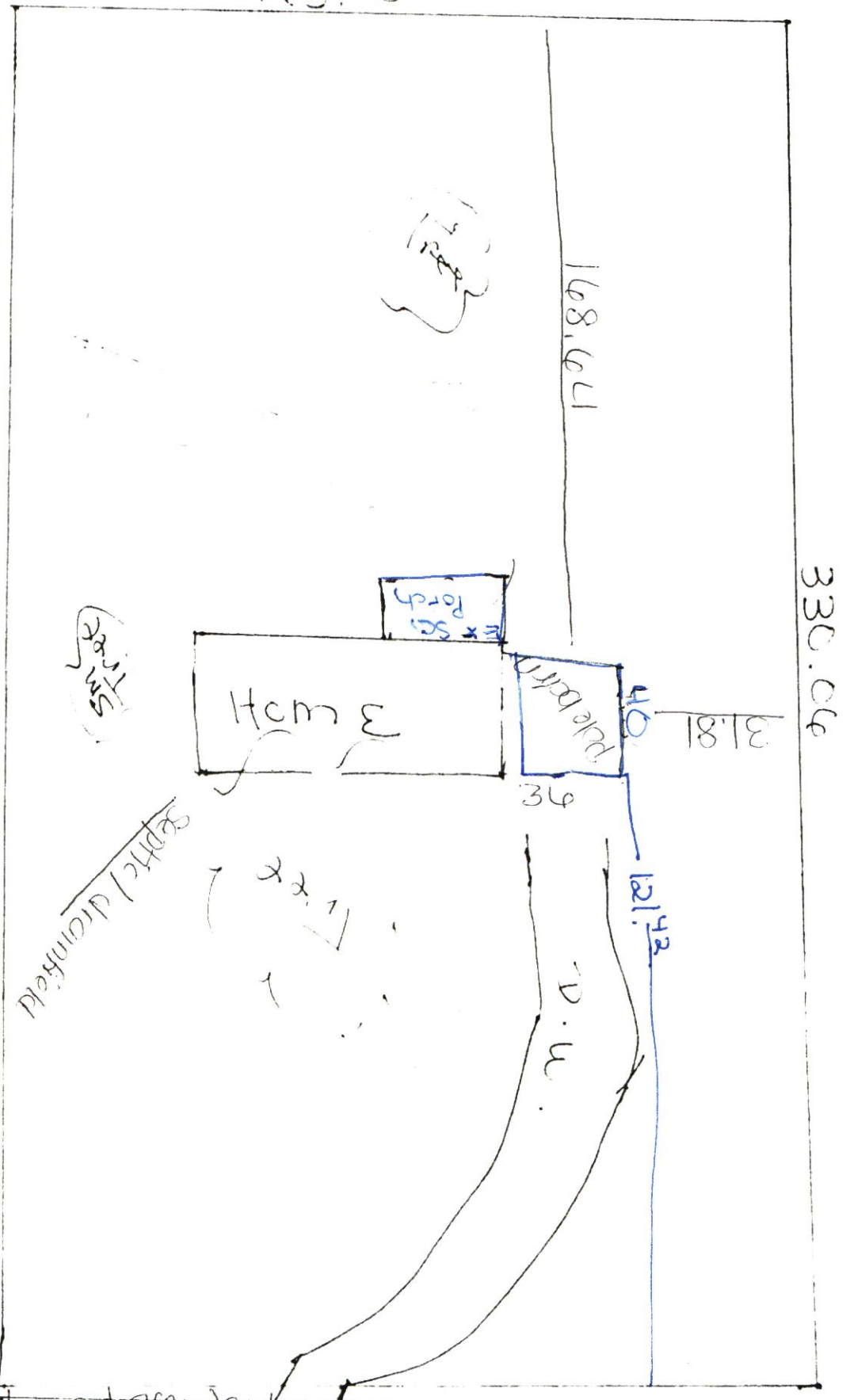
What is the hardship if the variance is not approved?
 We would have to pay to have this removed. We currently park our cars under the pole barn. This would not be cost effective. This would be to expensive.

Is this the minimum variance required for the reasonable use of the land?
 Yes

Do you have Homeowners Association approval for this request?
 No

Applicant’s Justification

165.10



Anderson Rd

Long driveway
Anderson Rd.

LDLVAR-2026-18 - Timothy Moss

Menu Reports Help

Application Name: [Timothy Moss](#)

File Date: [03/12/2026](#)

Application Type: [LUHO - Variance](#)

Application Status: [Approved For Hearing](#)

Application Comments:	View ID	Comment	Date
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Description of Work: [Pole Barn 24" Diam x 48" Deep](#)

Application Detail: [Detail](#)

Address: [5803 ANDERSON RD, BARTOW, FL 33830](#)

Parcel No: [263007000000031250](#)

Owner Name: [MOSS THIMOTHY G](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	MOSS THIMOTHY G	MOSS THIMOTHY G	Engineer	Mailing_5803 Anderson...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #
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Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$1,057.00](#)

Total Fee Invoiced: [\\$1,057.00](#)

Balance: [\\$0.00](#)

Custom Fields: **LD_GEN_BOA**

GENERAL INFORMATION

Expedited Review

Number of Lots

-

Will This Project Be Phased

Acreage

[1.26](#)

DRC Meeting Time

DRC Meeting

[05/14/2026](#)

Rescheduled DRC Meeting

Rescheduled DRC Meeting Time

Green Swamp

Number of Units

[No](#)

-

Case File Number

Is this Polk County Utilities

-

One Year Extension

FS 119 Status

[Non-Exempt](#)

-

PUBLIC HEARINGS

Development Type

Application Type

[Land Use Hearing](#)

[Variance](#)

[Officer](#)

Variance Type

Brownfields Request

[Accessory](#)

[N/A](#)

[Larger than](#)

[Principle](#)

Affordable Housing

ADVERTISING

Advertising Board

Legal Advertising Date

[Land Use Hearing](#)

-

[Officer](#)

MEETING DATES

LUHO Hearing Date

[06/25/2026](#)

ALCOHOL BEVERAGE DIST REQ

COMMUNICATION TOWER

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?

[No](#)

What special conditions exist that are peculiar to the land, structure, or building involved?

[Prior to hurricane Ian we had a carport that was added in 2017. The hurricane destroyed the carport. We had a pole barn put back in the same place as the carport because it was more cost efficient. To replace the carport was going to cost more money then having a pole barn put in the same place as the carport.](#)

When did you buy the property and when was the structure built? Permit Number?

[Property was bought in 2002 and the carport was done in 2017 after we had our oldest son](#)

What is the hardship if the variance is not approved?

[We would have to pay to have this removed. We currently park our cars under the pole barn. This would not be cost effective. This would be to expensive.](#)

Is this the minimum variance required for the reasonable use of the land?

[Yes](#)

Do you have Homeowners Association approval for this request?

[No](#)

LD_GEN_BOA_EDL

[Opening DigEplan List...](#)

DigEplan Document List

-

PLAN REVIEW FIELDS

TMPRecordID
[POLKCO-26EST-00000-14219](#)
 RequiredDocumentTypesComplete
[No](#)

DocumentGroupforDPC
[DIGITAL PROJECTS LD](#)
 AdditionalDocumentTypes
[Applications, AutoCad File Binding, Site Plans \(PDs, Yes and CUs\), CSV, Calculations, Correspondence, Design Drawings, Flood/Traffic Studies, Impact Statement, Inspections, Miscellaneous, Plats, Record Drawings, Response Letter Resubmittal Complete, Staff Report/Approval Letter, Survey, Title Opinion](#)
 DigitalSigCheck
[Yes](#)

Activate FSA
[Yes](#)

PLAN UPLOAD ACKNOWLEDGEMENT

Upload Plans Acknowledgement

[√](#)

LAND USE

Selected Area Plan LU Code

NOR

Neighborhood Organization Registry (NOR)

PUBLIC MAILERS

Posting Board Number of Boards (Number) Number of Mailers (Number) Date Mailed Date Posted NOR

Posting Board	Number of Boards (Number)	Number of Mailers (Number)	Date Mailed	Date Posted	NOR
LUHO	1	30	06/10/2026	06/10/2026	

Workflow Status:

Task	Assigned To	Status	Status Date	Action By
Application Submittal	Lisa Simons-Iri...	Application ...	04/10/2026	Lisa Simons-Iri...
Roads and Drainage Review	Phil Irven	Approve	04/16/2026	Phil Irven
Planning Review	Aleya Inglima	Approve	04/22/2026	Aleya Inglima
Review Consolidation		Approved for...	06/03/2026	Saralis Wons
Public Notice				
Hearing Officer				
Final Order				

Record Details

Task	Assigned To	Status	Status Date	Action By
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Archive

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
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Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments
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Polk County
Polk County Land Use Hearing Officer

Agenda Item 2.

6/25/2026

SUBJECT

LDLVAR-2026-22 (Chaisson Variance)

DESCRIPTION

The applicant is requesting a setback variance to build a shed structure toward the back of the residential property. The subject property is located at 7747 Nature Trail, in the Derbyshire subdivision, East of Walt Williams Road, west of Alturas Road North, east of Bartow in Section 16, Township 27, Range 24.

RECOMMENDATION

Approval

FISCAL IMPACT

No Fiscal Impact

CONTACT INFORMATION

Tyler-Christian Daniels

Land Development

Tyler-ChristianDaniels@polkfl.gov

(863)-534-7515

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date	May 14, 2026	CASE #:	LDLVAR-2026-22 (Chaisson Variance)
LUHO Date	June 25, 2026	LDC Section:	PUD 86-25

Project Number: LDLVAR-2026-22

Request: The applicant is requesting a rear and side setback variance to build a shed accessory structure toward the western rear of their property of approximately 0.30 acres within a residential neighborhood.

Applicant: Shawn A. Chaisson

Property Owner: Shawn A. Chaisson

Location: The subject property is located at 7747 Nature Trail in the Derbyshire subdivision, East of Walt Williams Road,.

Parcel ID#: 2427161-61091-001750

Size: ± 0.3 acres

Land Use Designation: Residential Suburban (RS)

Development Area: Suburban Development Area (SDA)

Case Planner: Tyler Daniels, Planner II

Summary:

The applicant is requesting a rear yard setback reduction from ten (10) feet to two and a half (2.5) feet and a side setback from ten (10) feet to eight (8) feet for the construction of a 144 square foot (12' x 12') detached storage shed in the southwest rear corner of the property, pursuant to Section 208, Table 2.2 of the Land Development Code (LDC). The shed will be seven and a half (7.5) feet tall, wood-framed on a concrete slab with a single-slope metal roof. The structure will be used to house and store equipment. The proposed side setback of approximately eight (8) feet from the western property line is a reduction from the ten (10) foot interior side accessory structure setback for the SF-1 land development district.

Staff finds the request to be consistent with the criteria in Section 931 and recommends approval subject to the conditions:

- The request **will not be injurious to the area involved or otherwise detrimental to the public welfare** because the proposed shed is concealed from neighboring properties by an

existing privacy fence, is not visible from the public right-of-way, and is consistent in scale and placement with existing accessory structures within the Derbyshire subdivision.

- **Special conditions and circumstances exist which are peculiar to the land, structure, or building involved** because the existing residence, pool, screen enclosure, septic system, and a mature tree located approximately 11 feet from the rear fence line together leave only the southwest rear corner of the property available for an accessory storage structure.
- **Granting the requested variance will not confer on the applicant any special privilege** because aerial imagery confirms multiple accessory structures within the immediate vicinity at similar rear setbacks, including a structure on the adjacent parcel placed at the rear property line.

Development Review Committee

The Development Review Committee, based on the criteria for granting variances, the submitted application, and a recent site visit, finds that the applicant's request as written IS CONSISTENT with Section 931 of the Polk County Land Development Code (LDC) and recommends **APPROVAL of LDLVAR-2026-22**, with the following conditions:

CONDITIONS OF APPROVAL:

1. A variance to the standards in Section 208, Table 2.2 of the LDC shall be granted for a rear yard setback reduction from ten (10) feet to two and a half (2.5) feet and a side setback from ten (10) to eight (8) feet for the construction of a detached accessory storage structure not to exceed 144 square feet (12' x 12') in footprint and seven and a half (7.5) feet in height. Any further additions, expansions, or structures placed on the property shall be required to meet the setback requirements of Table 2.2 of the Polk County Land Development Code or re-apply for another variance approval from the Land Use Hearing Officer.
2. The applicant shall have one (1) year from the date the Land Use Hearing Officer's Final Order is rendered to apply for all necessary building permits and pay all associated fees for the proposed structure.
3. This variance does not authorize any encroachments into easements, and the applicant shall be responsible for making certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other interested parties at a public hearing.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submissions of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with the LDC.

DEMONSTRATIONS OF THE CRITERIA FOR GRANTING VARIANCES SUMMARIZED BELOW:

- 1. Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

The proposed structure is a 144 square foot (12' x 12') detached storage shed with a maximum roof height of seven and a half (7.5) feet, designed and engineered to the Florida Building Code Residential 2023 (8th Edition) with a 140 mph wind rating under engineering project 060225.003, signed and sealed by Robert T. Haug, P.E. (FL Reg. No. 24575) on August 6, 2025. The shed will be located in the rear southwest corner of the property, fully enclosed by an existing privacy fence and concealed from Nature Trail and adjacent properties. The structure is well behind the principal residence, pool, and screen enclosure, and is not visible from the public right-of-way. The proposed location does not encroach on any visibility triangle, does not affect drainage, and does not impact traffic movement along Nature Trail. Aerial imagery shows the presence of at least five accessory storage structures on properties within the immediate vicinity of the subject site, including structures on adjacent lots along Nature Trail and Darlington Circle. The proposed shed is consistent in scale, use, and placement pattern with these existing accessory structures, and will not alter the established residential character of the area. An existing accessory structure on the adjacent property is set back a similar distance from the rear property line, demonstrating that the proposed setback is consistent with the established character of rear yards within the Derbyshire subdivision. Granting the variance is in accordance with the general intent and purpose of the Code and will not be injurious to the area or detrimental to the public welfare.

- 2. Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

The subject property is approximately 0.30 acres. The existing one-story 1,838 sq. ft. masonry single-family residence (constructed in 1988), 15-foot by 30-foot pool with attached screen enclosure, exterior air conditioning units, and concrete driveway occupy the central and forward portions of the lot, leaving only the rear yard available for an additional accessory structure. Within the rear yard, there is a mature tree located approximately 11 feet from the rear fence line and the on-site septic system further constrain placement, leaving the southwest corner as the viable

location for a storage shed. The combined effect of the lot size, the existing residential improvements, the mature vegetation, and the septic system location is peculiar to this parcel and is not generally applicable to other lots in the RS land use district.

3. *Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant;*

The applicant purchased the property in 2013. According to Polk County Property Appraiser records, the principal residence was constructed in 1988, twenty-five years before the applicant's purchase. The pool, attached screen enclosure, and septic system likewise pre-existed the applicant's ownership and were constructed in accordance with the codes in effect at the time of permitting. The mature tree along the rear yard, approximately eleven (11) feet from the rear fence line, also pre-existed the applicant's ownership. The lot dimensions are fixed by the recorded subdivision plat and cannot be modified by the applicant. The special conditions and circumstances that make the southwest rear corner the only practical placement for an accessory storage structure are physical and historical site conditions, not actions taken by the applicant.

4. *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant;*

Detached storage sheds are permitted accessory structures in the RS land use district pursuant to Sections 206 and 209 of the Land Development Code. The applicant is not seeking to introduce a use that the Code prohibits, only relief from a single dimensional standard. The applicant has identified an existing accessory structure on the adjacent property set back a similar distance from the rear property line, indicating that the proposed setback is consistent with the established pattern within the immediate vicinity and does not confer a special privilege. Aerial imagery confirms multiple accessory structures in the immediate vicinity of the subject site with varying setbacks. The applicant's proposed structure is consistent with that of neighboring accessory structures.

5. *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

The shed measures twelve (12) feet by twelve (12) feet with a maximum roof height of seven and a half (7.5) feet. It is below the height of the principal structure. The proposed rear setback of two and a half (2.5) feet is the minimum needed to accommodate the shed footprint along with the eight (8) foot side setback clearing the mature tree along the eastern rear yard and avoiding the existing pool screen enclosure.

6. *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;*

Granting this variance will not result in a change of land use. The property is and will remain a single-family residential use within the Residential Suburban (RS) land use district. Detached accessory storage structures are permitted accessory uses in RS pursuant to Sections 206 and 209 of the Land Development Code. The variance affects only the rear yard setback applicable to the accessory structure under Table 2.2.

7. *Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of this Code; and*

Granting this variance will not result in the creation of a lot or parcel that does not meet the requirements of the Code. The request affects only the dimensional setback for a proposed accessory structure. The size, shape, configuration, and lot dimensions of the parcel are unchanged. No subdivision, lot split, or boundary adjustment is proposed or implied by the request.

8. *Whether that the granting of the variance does not circumvent a condition or the intent of a condition placed on a development by the Planning Commission or the BoCC.*

The subject property is located within the Derbyshire subdivision, a standard residential subdivision. Staff review of the recorded plat and County records identified no Planning Commission or Board of County Commissioners conditions specific to this parcel or to the subdivision that would be circumvented by granting the requested setback variance. The conditions are in accordance to SF-1 standards for PUD-86-25. See Ord. 83-02. The variance is dimensional in nature and does not affect any conditions of approval related to land use, density, intensity, or development review.

Surrounding Future Land Use Designations and Existing Land Use Activity:

The table to follow provides details of abutting structures and lot parameters.

Northwest: Residential Suburban (RS) 2,004 sq. ft. single-family home Lot 158 Derbyshire ±0.31 acres (7746 Nature Trail)	North: Residential Suburban (RS) 1,945 sq. ft. single-family home Lot 157 Derbyshire ±0.30 acres (7752 Nature Trail)	Northeast: Residential Suburban (RS) 2,509 sq. ft. single-family home Lot 156 Derbyshire ±0.30 acres (7758 Nature Trail)
West: Residential Suburban (RS) 2,004 sq. ft. single-family home Lot 174 Derbyshire ±0.31 acres (7737 Nature Trail)	Subject Property: Residential Suburban (RS) 1,838 sq. ft. single-family home Lot 175 Derbyshire ±0.30 acres (7747 Nature Trail)	East: Residential Suburban (RS) 2,065 sq. ft. single-family home Lot 176 Derbyshire ±0.30 acres (7755 Nature Trail)
Southwest: Residential Suburban (RS) 1,985 sq. ft. single-family home Lot 203 Derbyshire ±0.35 acres (7726 Merrily Way)	South: Residential Suburban (RS) 1,896 sq. ft. single-family home Lot 202 Derbyshire ±0.32 acres (7732 Merrily Way)	Southeast: Residential Suburban (RS) 2,261 sq. ft. single-family home Lot 201 Derbyshire ±0.30 acres (7738 Merrily Way)

The subject property is Lot 175 of the Derbyshire subdivision, recorded at Plat Book 86, Pages 19 and 20 of the Public Records of Polk County, Florida. The lot is approximately 0.30 acres in the Residential Suburban (RS) land use district within the Suburban Development Area (SDA). The subject parcel is surrounded entirely by single-family residential homes (SF-1) within the same subdivision, all in the RS land use district. The surrounding homes were constructed between 1989 and 1992, with the subject residence constructed in 1988. The rear (south)

property line of the subject parcel abuts the rear property lines of three homes fronting Merrily Way. Aerial imagery (see Exhibit 7) confirms the presence of multiple accessory storage structures on properties within the immediate vicinity, consistent with the established residential character of the neighborhood.

Comments from other Governmental Agencies: None.

Exhibits:

Exhibit 1 –Location Map

Exhibit 2 – Future Land Use

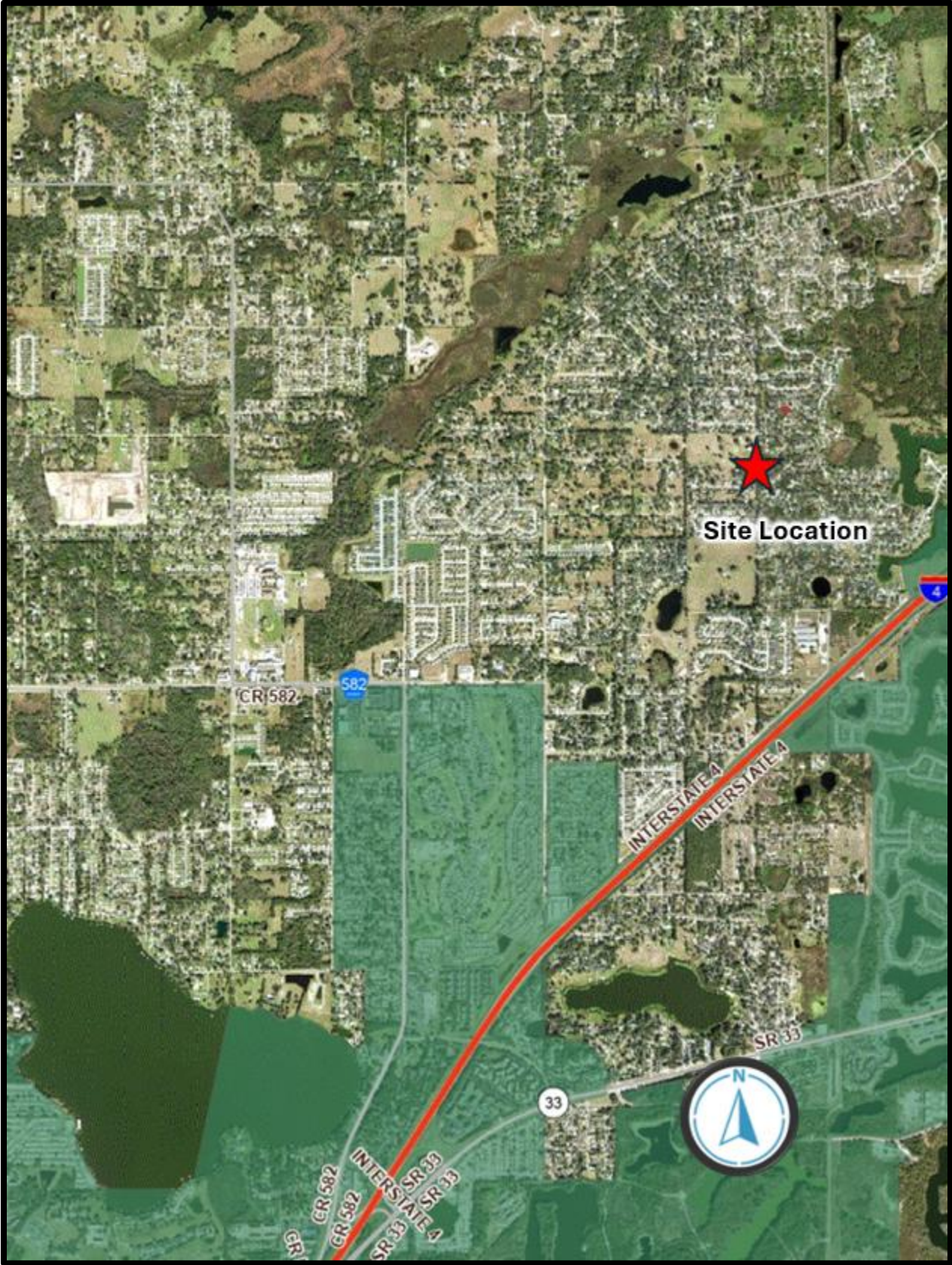
Exhibit 3 – 2023 Aerial Context

Exhibit 4 – 2023 Aerial Close-up

Exhibit 5 – Applicant Site Plan

Exhibit 6 – Applicant’s Justification

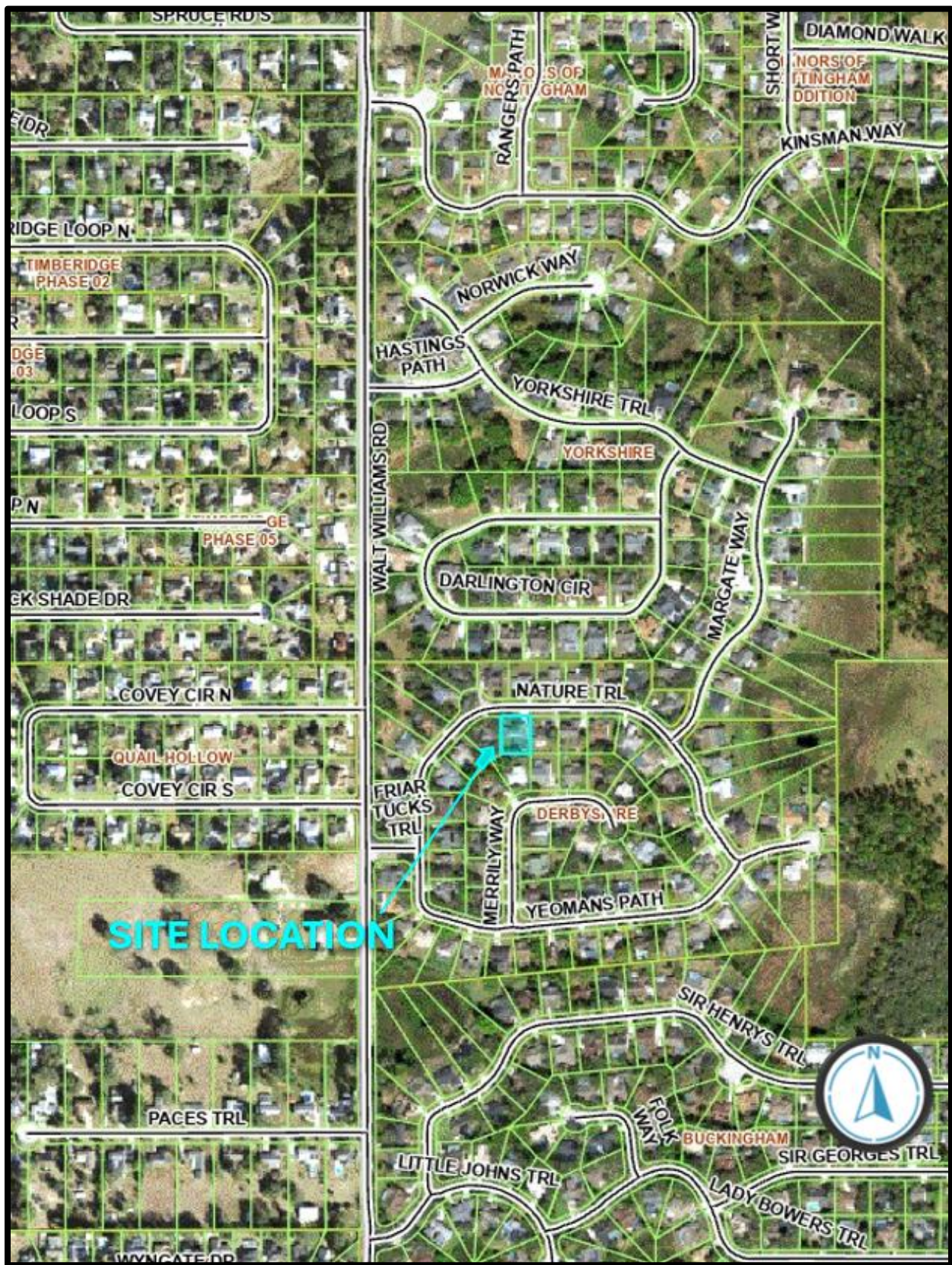
Exhibit 7 – Aerial Vicinity



Location Map



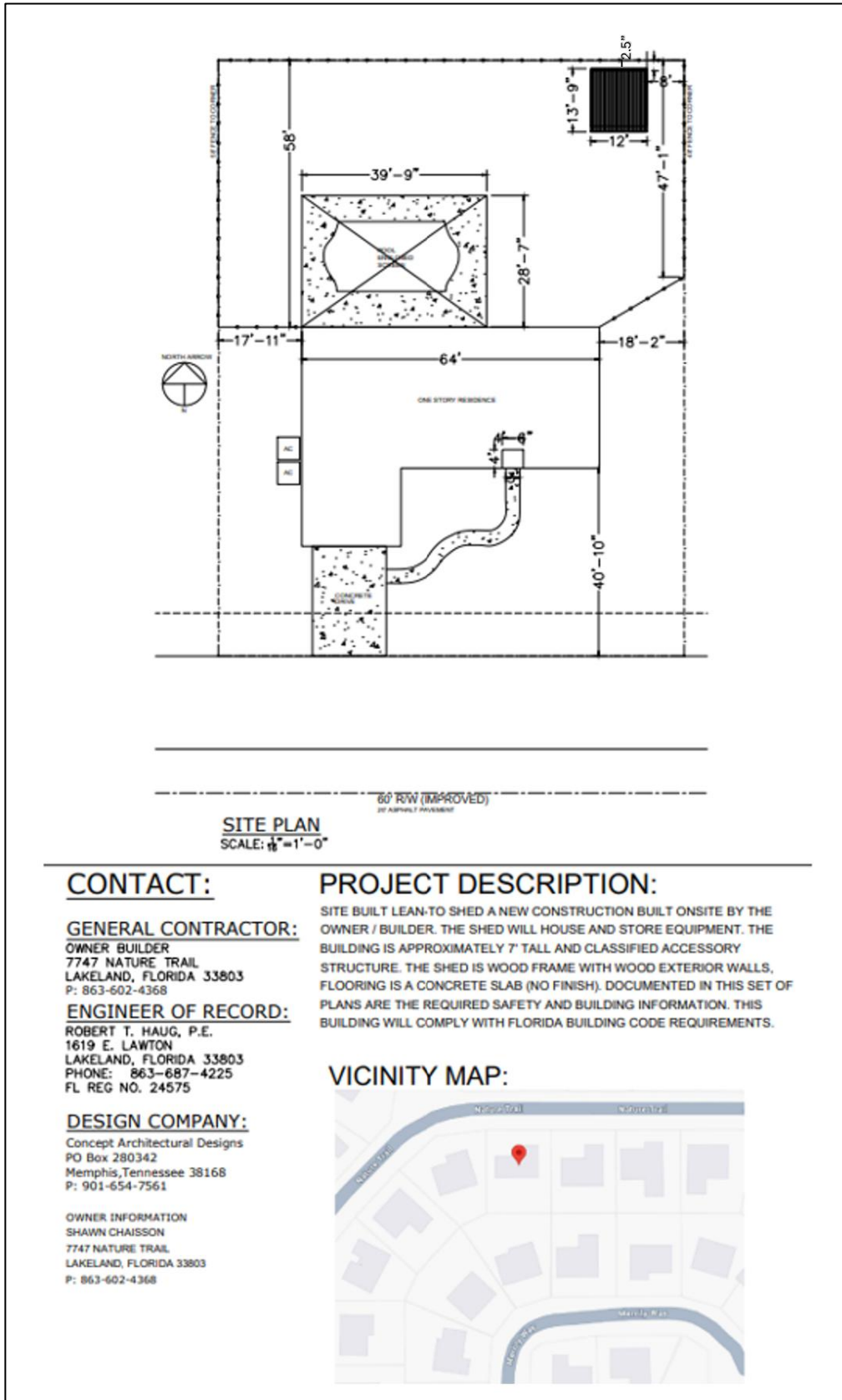
Future Land Use



2023 Aerial Context



2023 Aerial Close-Up



Site Plan

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare

No

What special conditions exist that are peculiar to the land, structure, or building involved?

None, other than a tree limiting on the east side of the proposed space.

When did you buy the property and when was the structure built? Permit Number?

2013, N/A

What is the hardship if the variance is not approved?

None

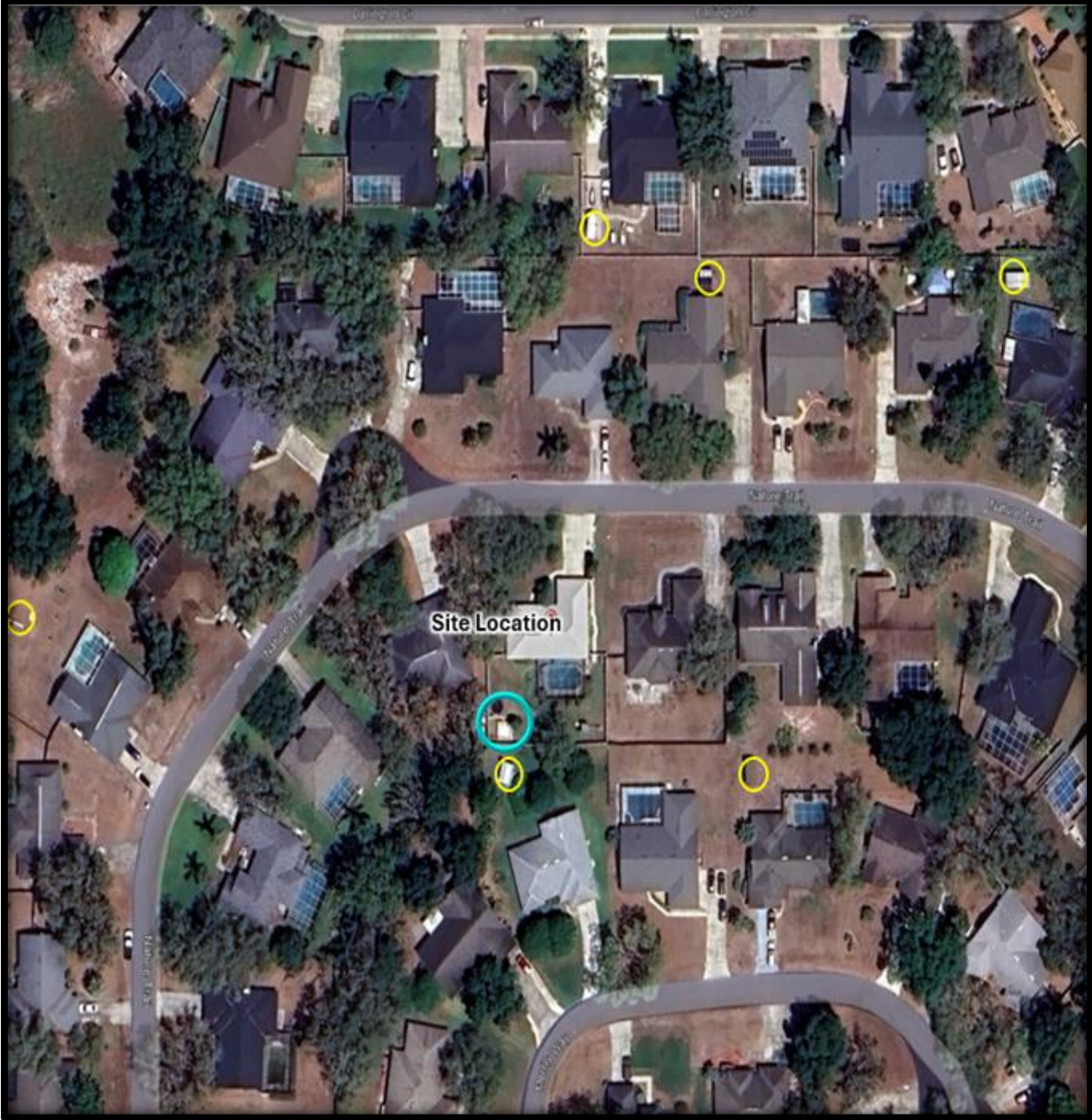
Is this the minimum variance required for the reasonable use of the land?

No

Do you have Homeowners Association approval for this request?

They are awaiting the permit and drawings but preliminarily notified them.

Applicant's Justification



Aerial Vicinity

LDLVAR-2026-22 - Chaisson Variance

Menu Reports Help

Application Name: [Chaisson Variance](#)

File Date: [03/23/2026](#)

Application Type: [LUHO - Variance](#)

Application Status: [In Review](#)

Application Comments:

View ID	Comment	Date
---------	---------	------

Description of Work: [Would like a setback variance for the building of a shed at the back of my property. At the backside of my shed it is around 2.5 ft of clearance from the existing privacy fence around 8 foot from the west side of the property line privacy fence. There is an existing shed on a neighboring property with similar setback from the back property line.](#)

Application Detail: [Detail](#)

Address: [7747 NATURE TRL, LAKELAND, FL 33809](#)

Parcel No: [242716161091001750](#)

Owner Name: [CHAISSON SHAWN A](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	CHAISSON SHAWN A	CHAISSON SHAWN A	Applicant	Mailing, 7747 Nature T...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$541.00](#)

Total Fee Invoiced: [\\$541.00](#)

Balance: [\\$0.00](#)

Custom Fields: **LD_GEN_BOA**

GENERAL INFORMATION

Expedited Review

Number of Lots

-

Will This Project Be Phased

Acreage

[0.30](#)

DRC Meeting Time

DRC Meeting

[05/14/2026](#)

Rescheduled DRC Meeting

Rescheduled DRC Meeting Time

-

Green Swamp

Number of Units

[No](#)

-

Case File Number

Is this Polk County Utilities

-

One Year Extension

FS 119 Status

[Non-Exempt](#)

-

PUBLIC HEARINGS

Development Type

Application Type

[Land Use Hearing](#)

[Variance](#)

[Officer](#)

Variance Type

Brownfields Request

[Dimensions](#)

[N/A](#)

[Table](#)

Affordable Housing

ADVERTISING

Advertising Board

Legal Advertising Date

[Land Use Hearing](#)

-

[Officer](#)

MEETING DATES

LUHO Hearing Date

[06/25/2026](#)

ALCOHOL BEVERAGE DIST REQ

COMMUNICATION TOWER

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?

[No](#)

What special conditions exist that are peculiar to the land, structure, or building involved?

[None, other than a tree limiting on the east side of the proposed space.](#)

When did you buy the property and when was the structure built? Permit Number?

[2013, N/A](#)

What is the hardship if the variance is not approved?

[None](#)

Is this the minimum variance required for the reasonable use of the land?

[No](#)

Do you have Homeowners Association approval for this request?

[They are awaiting the permit and drawings but preliminarily notified them.](#)

LD_GEN_BOA_EDL

[Opening DigEplan List...](#)

DigEplan Document List

-

PLAN REVIEW FIELDS

TMPRecordID

[POLKCO-26EST-00000-16536](#)

RequiredDocumentTypesComplete

[Yes](#)

DocumentGroupforDPC

[DIGITAL PROJECTS LD](#)

AdditionalDocumentTypes

[Applications, AutoCad File, Binding, Site Plans \(PDs, and CUs\), CSV, Calculations, Correspondence, Design Drawings, Flood/Traffic Studies, Impact Statement, Inspections, Miscellaneous, Plats, Record Drawings, Response Letter Resubmittal Complete, Staff Report/Approval Letter, Survey, Title Opinion](#)

RequiredDocumentTypes

-

Activate DPC

Activate FSA

[Yes](#)

DigitalSigCheck

[Yes](#)

PLAN UPLOAD ACKNOWLEDGEMENT

Upload Plans Acknowledgement

[√](#)

LAND USE

Selected Area Plan LU Code

NOR

Neighborhood Organization Registry (NOR)

PUBLIC MAILERS

Posting Board Number of Boards (Number) Number of Mailers (Number) Date Mailed Date Posted NOR

Workflow Status:

Task	Assigned To	Status	Status Date	Action By
Application Submittal	Lisa Simons-Iri...	Application ...	04/10/2026	Lisa Simons-Iri...
Roads and Drainage Review	Phil Irven			
Planning Review	Tyler Daniels			
Review Consolidation				
Public Notice				
Hearing Officer				
Final Order				
Archive				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments	
Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments	

GENERAL NOTES

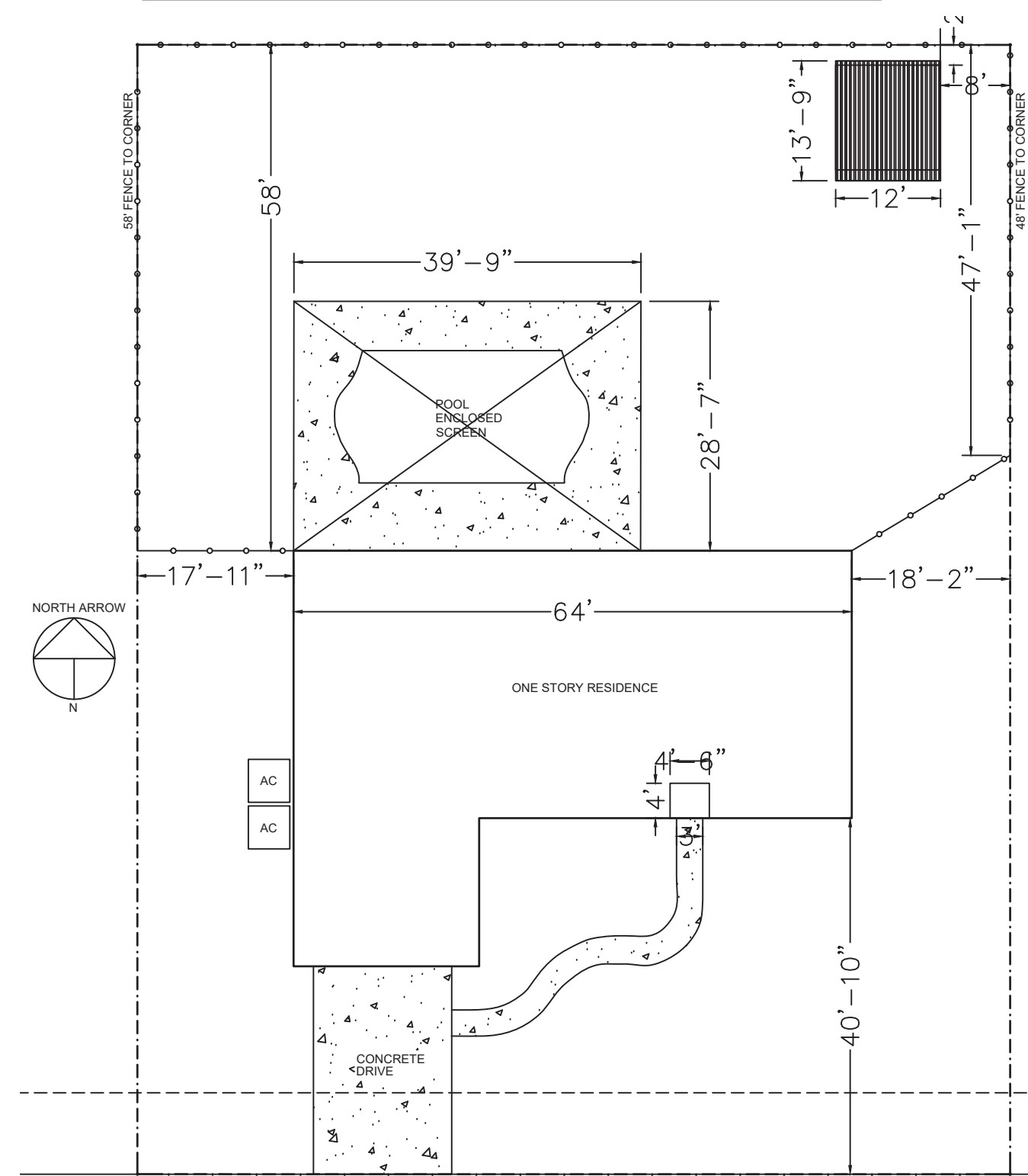
- THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE 8TH EDITION, WIND LOADING DESIGNED IN ACCORDANCE WITH THE ASCE 7-22.
- ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSION.
- LUMBER USED FOR CONSTRUCTION SHALL BE AS FOLLOWS:
 - WALL STUDS: 2x4 S.Y.P. #1-(12-15% MOISTURE CONTENT)
 - ROOF RAFTERS: S.Y.P. 2x's #1-(12-15% MOISTURE CONTENT)
 - WINDOW SILLS: 2x4 S.Y.P. #1-(12-15% MOISTURE CONTENT)
 SOUTHERN YELLOW PINE #1 WILL BE USED FOR WALL AND ROOF FRAMING TO BE SPACED AT 16" O.C., MAX.
- UNDERLAYMENT SHALL CONFORM WITH SECTION 1507.1.1 (ASPHALT SHINGLES) AND (METAL ROOF PANEL) OF THE 2023 F.B.C.
- ROOF SLOPE FOR METAL ROOFS SHALL MEET MANUFACTURER'S RECOMMENDATIONS.
- ROOF RAFTERS SHALL HAVE THE SAME SPACING AS THE WALL STUDS AND SHALL BE LOCATED DIRECTLY OVER THE WALL STUD.
- ANCHORS SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE LOCAL CODES.
- ALL FASTENERS INTO P.T. WOOD SHALL BE HOT DIPPED GALVANIZED FASTENERS.
- THE OWNER AND THE CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL LIABILITY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM ERRORS OR OMISSIONS IN THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
- THESE STRUCTURES SHALL NOT BE USED FOR COMBUSTIBLE OR HAZARDOUS MATERIAL.
- EXTERIOR WALL COVERINGS BUILDING DESIGNED FOR LP SMARTSIDE PRECISION PANEL SIDING, DURATEMP PANEL OR T1-11.
- ALL DOORS SHALL BE ABLE TO BE OPENED FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY.
- REFER TO SUPPLIED FASTENING SCHEDULE FOR FASTENING BASED ON CONNECTION AND LOCATION OF MEMBERS AS PER 2023 FLORIDA BUILDING CODE TABLE 2304.10.1 UNLESS NOTED OTHERWISE.
- SECTIONS AND DETAILS ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY AT ALL SIMILAR LOCATIONS, UNLESS OTHER SECTIONS AND DETAILS ARE SPECIFICALLY REFERENCED.
- IN ACCORDANCE WITH FBC 1010.1.1, EXCEPTION (10) BUILDINGS THAT ARE 400 SQFT OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE AND TWO FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE.
- THIS BUILDING DESIGNED TO HAVE ANCHORS DIRECTLY ATTACHED TO ALL FOUR CORNERS OF THE BUILDING TO RESIST TENSION FORCES FROM LATERAL WIND LOADS. THIS DESIGN CONSIDERATION MUST BE MADE BY INSTALLER WHEN ATTACHING ANCHORING SYSTEM TO BUILDING.
- BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY NOT FOR HUMAN HABITATION OR COMMERCIAL USE.
- THIS BUILDING IS EXEMPT FROM THE 2023 FLORIDA ENERGY CONSERVATION CODE C101.4.2.3
- REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.
- FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBER OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP.

SITE BUILT LEAN-TO SHED

SHEET INDEX

PLAN SHEETS

- G1 - COVER SHEET
- A1 - FLOOR PLAN-ELEVATIONS-FOUNDATION
- A2 - FRAMING-PLAN-DETAILS
- S1 - SECTIONS-ROOF-PLAN
- S2 - DETAILS
- S3 - DETAILS (OPTIONS)



SITE PLAN
SCALE: 1/8" = 1'-0"

BUILDING NOTES

- THESE STRUCTURAL DRAWINGS SHALL BE USED FOR THE CONSTRUCTION OF THE SHOWN STORAGE BUILDING IN THE EVENT OF DIMENSIONAL DISCREPANCY, NOTIFY THE DESIGNER FOR RESOLUTION OF CONFLICT. ANY DEVIATION FROM THESE DRAWINGS MUST BE APPROVED BY THE DESIGNER.
- THIS IS TO CERTIFY THAT THE WOOD FRAME STORAGE BUILDING AS SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE, RESIDENTIAL WITH ALL REVISIONS TO ASCE 7-22 FOR UP TO 140 MPH WIND VELOCITY.
- MATERIALS. ALL VERTICAL LUMBER TO BE NO 2 GRADE SPF OR EQUIVALENT. ALL HORIZONTAL FLOOR FRAMING TO BE NO 2 GRADE S.Y.P.. ALL PLYWOOD/PLYWOOD GUSSETS SHALL CONFORM TO APA PDS-04. ALL CONNECTORS/FASTENERS (SIMPSON STRONG TIE OR APPROVED) APPLICABLE CODES, TO ASSURE SUPPORT. * NO 2 GRADE SPF LUMBER OR EQUIVALENT IS APPLICABLE UP TO 55 MPH SPEED.
- DIMENSIONS LABELED BY LETTERS VARY BY MODEL AND SIZE OF BUILDING AND SHALL BE OBTAINED FROM THE PROVIDED SCHEDULES.
- NON-STRUCTURAL DETAILS AND ITEMS MAY BE CHANGED AT OWNERS DISCRETION.
- ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED (G 185) OR STAINLESS STEEL. ALL LUMBER IN CONTACT WITH THE EARTH SHALL BE PRESSURE TREATED WITH PRESERVATIVE. EXTERIOR NON-TREATED WOOD SIDING SHALL NOT BE LESS THAN 12" FROM EXPOSED EARTH.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, CONCRETE/ANCHORING/ELECTRICAL CONNECTIONS, SHALL BE BY OTHERS.

SIMPSON CONNECTOR NOTES

- SIMPSON CONNECTIONS SPECIFIED ARE DESIGNED AND MANUFACTURED FOR THE PURPOSES SHOWN, AND SHOULD NOT BE USED WITH OTHER CONNECTORS NOT APPROVED BY THE DESIGNER. MODIFICATIONS TO PRODUCTS OR CHANGES IN INSTALLATION PROCEDURES SHOULD NOT BE MADE WITHOUT THE APPROVAL OF THE DESIGNER. THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURES IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- SUBSTITUTIONS FOR SIMPSON STRONG-TIE CO. INC'S PRODUCTS SHALL BE APPROVED IF EQUAL AND APPROVED IN WRITING BY THE DESIGNER.
- INSTRUCTIONS FOR THE INSTALLER:
 - ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE SIMPSON CATALOG. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16D FASTENERS ARE COMMON NAILS (18GA X 3-1/2") UNLESS OTHERWISE SPECIFIED.
 - BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
 - INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.
 - PNEUMATIC OR POWDER-ACTUATED FASTENERS MAY DEFLECT AND INJURE THE OPERATOR OR OTHERS. NAIL GUNS MAY BE USED TO INSTALL CONNECTORS, PROVIDED THE CORRECT QUANTITY AND TYPE OF NAILS ARE PROPERLY INSTALLED IN THE NAIL HOLES. GUNS WITH NAIL HOLE-LOCATING MECHANISMS SHOULD BE USED. FOLLOW THE MANUFACTURERS INSTRUCTIONS AND USE THE APPROPRIATE SAFETY EQUIPMENT.

CONTACT:

GENERAL CONTRACTOR:

OWNER BUILDER
7747 NATURE TRAIL
LAKELAND, FLORIDA 33803
P: 863-602-4368

ENGINEER OF RECORD:

ROBERT T. HAUG, P.E.
1619 E. LAWTON
LAKELAND, FLORIDA 33803
PHONE: 863-687-4225
FL REG NO. 24575

DESIGN COMPANY:

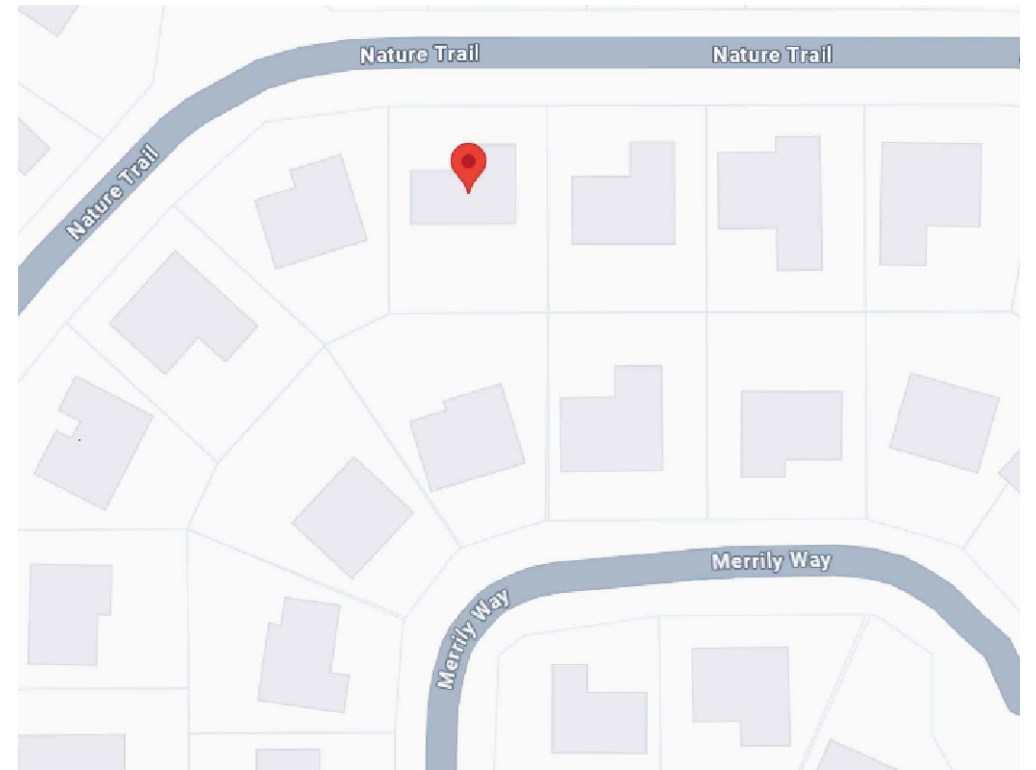
Concept Architectural Designs
PO Box 280342
Memphis, Tennessee 38168
P: 901-654-7561

OWNER INFORMATION
SHAWN CHAISSON
7747 NATURE TRAIL
LAKELAND, FLORIDA 33803
P: 863-602-4368

PROJECT DESCRIPTION:

SITE BUILT LEAN-TO SHED A NEW CONSTRUCTION BUILT ONSITE BY THE OWNER / BUILDER. THE SHED WILL HOUSE AND STORE EQUIPMENT. THE BUILDING IS APPROXIMATELY 7' TALL AND CLASSIFIED ACCESSORY STRUCTURE. THE SHED IS WOOD FRAME WITH WOOD EXTERIOR WALLS, FLOORING IS A CONCRETE SLAB (NO FINISH). DOCUMENTED IN THIS SET OF PLANS ARE THE REQUIRED SAFETY AND BUILDING INFORMATION. THIS BUILDING WILL COMPLY WITH FLORIDA BUILDING CODE REQUIREMENTS.

VICINITY MAP:



Code Reference Design

Governing Code	FBC Residential 2023 (8th Edition)
Structure Use	Residential Storage Shed (Accessory)
Construction Type	Type V (Wood Frame)
Occupancy Group	Utility & Miscellaneous (Group U)
Building Height	7'-6" (Maximum Roof Height)
Total Area	144 sq.ft. (12' x 12')
Number of Stories	1
Enclosure Type	Enclosed
Roof Type	Lean-To (Single-Slope)
Roofing Material	29 ga. Corrugated Metal
Roof Slope	3:12 minimum (metal panel requirement)
Wind Speed (Vult)	140 mph
Exposure Category	B
Risk Category	I
Live Load – Roof	20 psf (min.)
Dead Load – Roof	10 psf (approx.)
Foundation Type	Slab-on-Grade + (4) Corner Footers
Footing Reinforcement	6 #5 Rebars per footer

GENERAL PROJECT NOTES

ALL DRAWINGS AND DOCUMENTS PREPARED BY CONCEPT ARCHITECTURAL DESIGNS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAW. REPRODUCTION, REUSE, OR DISTRIBUTION OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT FROM CONCEPT ARCHITECTURAL DESIGNS IS STRICTLY PROHIBITED AND CONSTITUTES A VIOLATION OF FEDERAL LAW.

THE GENERAL CONTRACTOR SHALL THOROUGHLY REVIEW ALL DRAWINGS AND BECOME FAMILIAR WITH THE CONSTRUCTION DOCUMENTS BEFORE BEGINNING ANY WORK. ANY DISCREPANCIES, OMISSIONS, OR INCONSISTENCIES IDENTIFIED DURING THIS REVIEW MUST BE DOCUMENTED AND REPORTED IN WRITING TO THE DESIGNER(S) PRIOR TO THE START OF CONSTRUCTION. THE DESIGNER(S) WILL EVALUATE AND RESPOND TO ANY PROPOSED CORRECTIONS. IF ANY ERRORS OR CONFLICTS ARE DISCOVERED AFTER WORK HAS COMMENCED, THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY RESULTING REPAIRS, REPLACEMENTS, OR MODIFICATIONS REQUIRED TO BRING THE WORK INTO COMPLIANCE.

ALL EXTERIOR ELEMENTS SHALL BE INSTALLED USING APPROPRIATE MATERIALS AND METHODS TO ENSURE WEATHER-TIGHT CONSTRUCTION. FLASHING, SEALANTS, AND WEATHER BARRIER SYSTEMS MUST BE APPLIED PER MANUFACTURER INSTRUCTIONS AND IN COMPLIANCE WITH APPLICABLE CODES TO PREVENT WATER INTRUSION.

ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT FLORIDA BUILDING CODE AND ANY APPLICABLE STATE, COUNTY, OR LOCAL BUILDING LAWS GOVERNING THIS PROJECT. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ADHERENCE TO THESE REQUIREMENTS AND FOR CORRECTING ANY VIOLATIONS AT NO ADDITIONAL COST TO THE OWNER. WORK SHALL FOLLOW STANDARD CONSTRUCTION PRACTICES AND DEMONSTRATE PROPER STRUCTURAL INTEGRITY, WEATHER RESISTANCE, AND QUALITY WORKMANSHIP.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL PERFORM THEIR WORK IN FULL COMPLIANCE WITH APPLICABLE LOCAL, STATE, AND TRADE-SPECIFIC CODES AND REGULATIONS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SUPERVISION. SITE-SPECIFIC ENGINEERING, BUILDING LAYOUT, SOIL CONDITIONS, AND TOPOGRAPHIC VERIFICATION ARE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR. ANY EXISTING CONDITIONS OR SITE DATA THAT DIFFER FROM THESE PLANS SHALL BE REPORTED TO THE DESIGNER(S) IN WRITING PRIOR TO THE START OF WORK.

TO THE BEST OF THE DESIGNER(S)'S KNOWLEDGE, THESE CONSTRUCTION DOCUMENTS COMPLY WITH THE REQUIREMENTS OF THE GOVERNING BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF STRUCTURE AND OCCUPANCY.

ALL WORK PERFORMED MUST COMPLY WITH APPLICABLE LOCAL AND STATE BUILDING CODES, ORDINANCES, AND REGULATIONS. THE GENERAL CONTRACTOR IS EXPECTED TO BE FAMILIAR WITH AND FOLLOW ALL SUCH REQUIREMENTS, AS WELL AS ANY RULES SET BY THE AUTHORITIES HAVING JURISDICTION.

PRODUCT APPROVAL SPECIFICATION LIST

CATEGORY/SUB-CATEGORY	MANUFACTURER, MODEL NUMBER/SERIES	FL PRODUCT APPROVAL NUMBER
EXTERIOR DOORS	---	---
SWINGING/OTHER	ONSITE OWNER BUILT	NOT APPLICABLE ---
WINDOWS	---	---
VERTICAL SLIDING	POCAHONTAS ALUMINUM COMPANY	FL12940 ---
WALL PANELS/SIDING	GEORGIA-PACIFIC/TI-11 PLYTANIUM	FL2524-R9 ---
ROOFING PRODUCTS	---	---
NON-STRUCTURAL METAL	TRI COUNTY METALS/TCM-LOK 1"	FL36904-R12
ROOFING UNDERLAYMENT	---	---
STRUCTURAL COMPONENTS	---	---
WOOD CONNECTORS	SIMPSON PRODUCTS (SEE SHEET A2 FLORIDA APPROVAL LIST)	---
WOOD ANCHORS	SIMPSON PRODUCTS (SEE SHEET A2 FLORIDA APPROVAL LIST)	---
SHEDS	---	---

AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 61G20-3



concept architectural designs
PO Box 280342
Memphis, Tennessee 38168
P: 901-654-7561
https://www.conceptads.com
BUILDING DESIGN

ROBERT T. HAUG P.E.

CONSULTING ENGINEER FL REG NO. 24575
1619 E. LAWTON LANE LAKELAND,
FLORIDA 33803 PH: 863-687-4225

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REVISIONS

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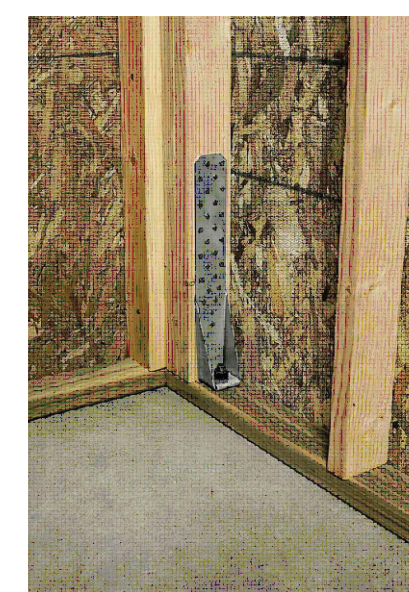
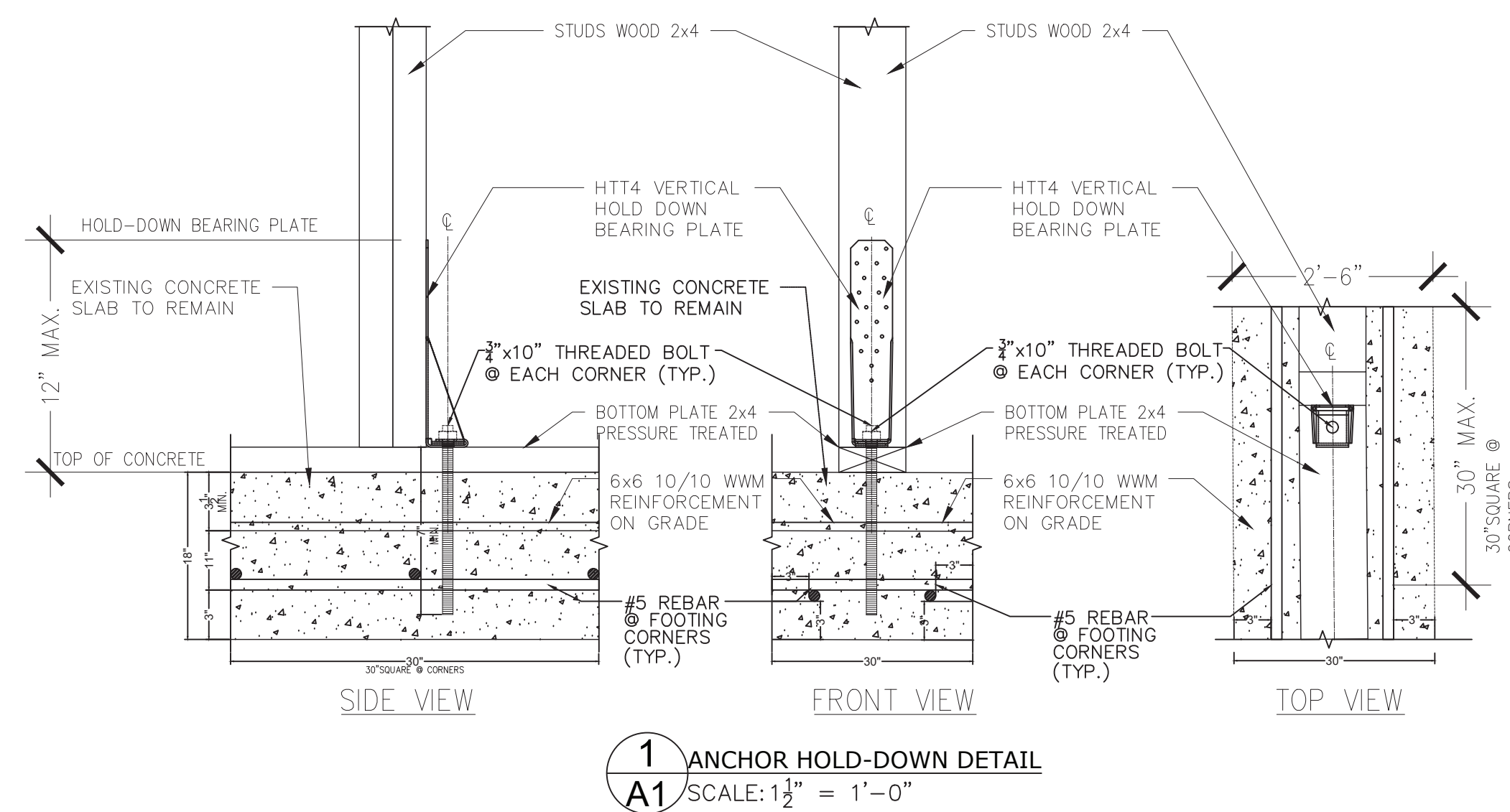
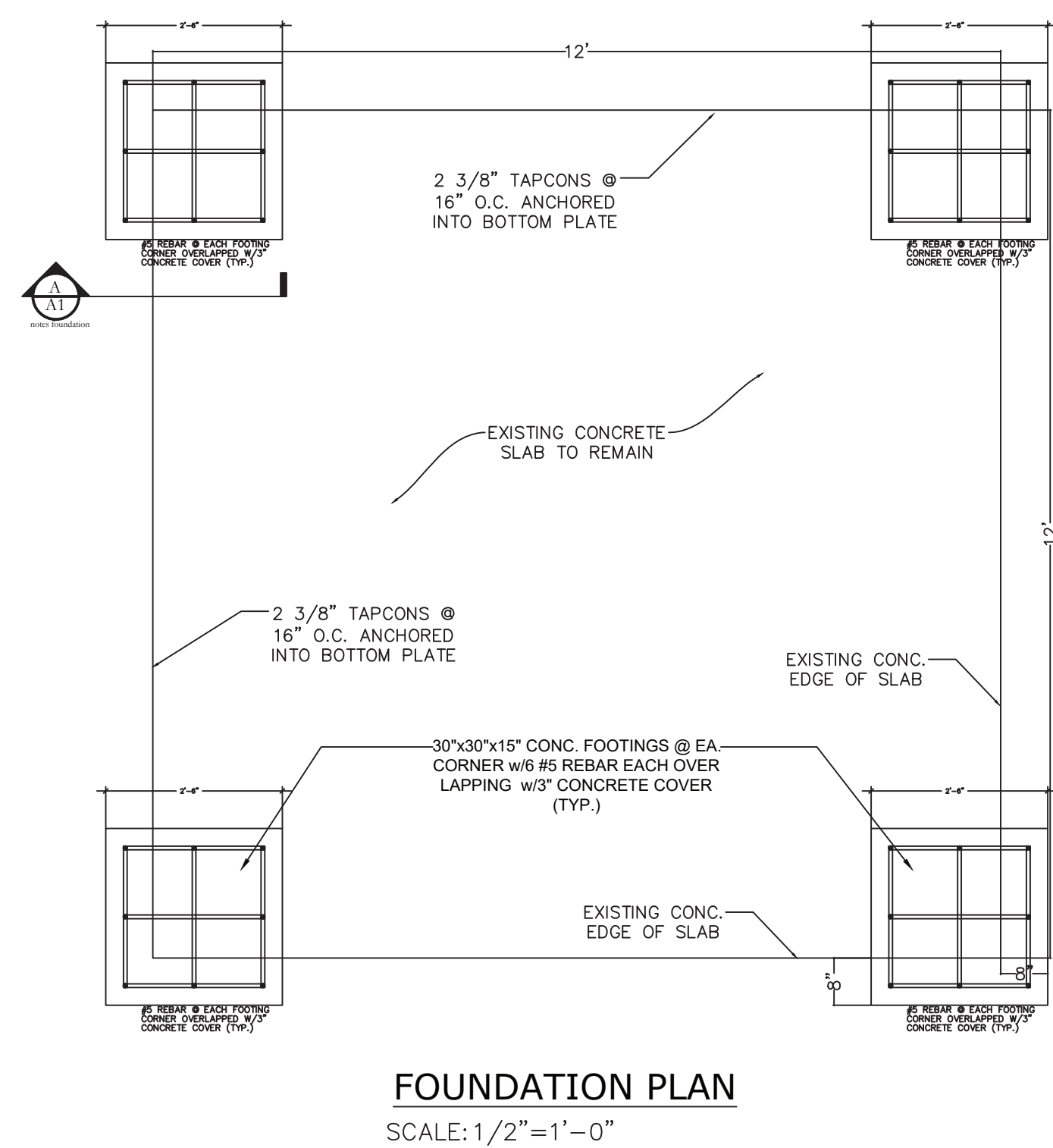
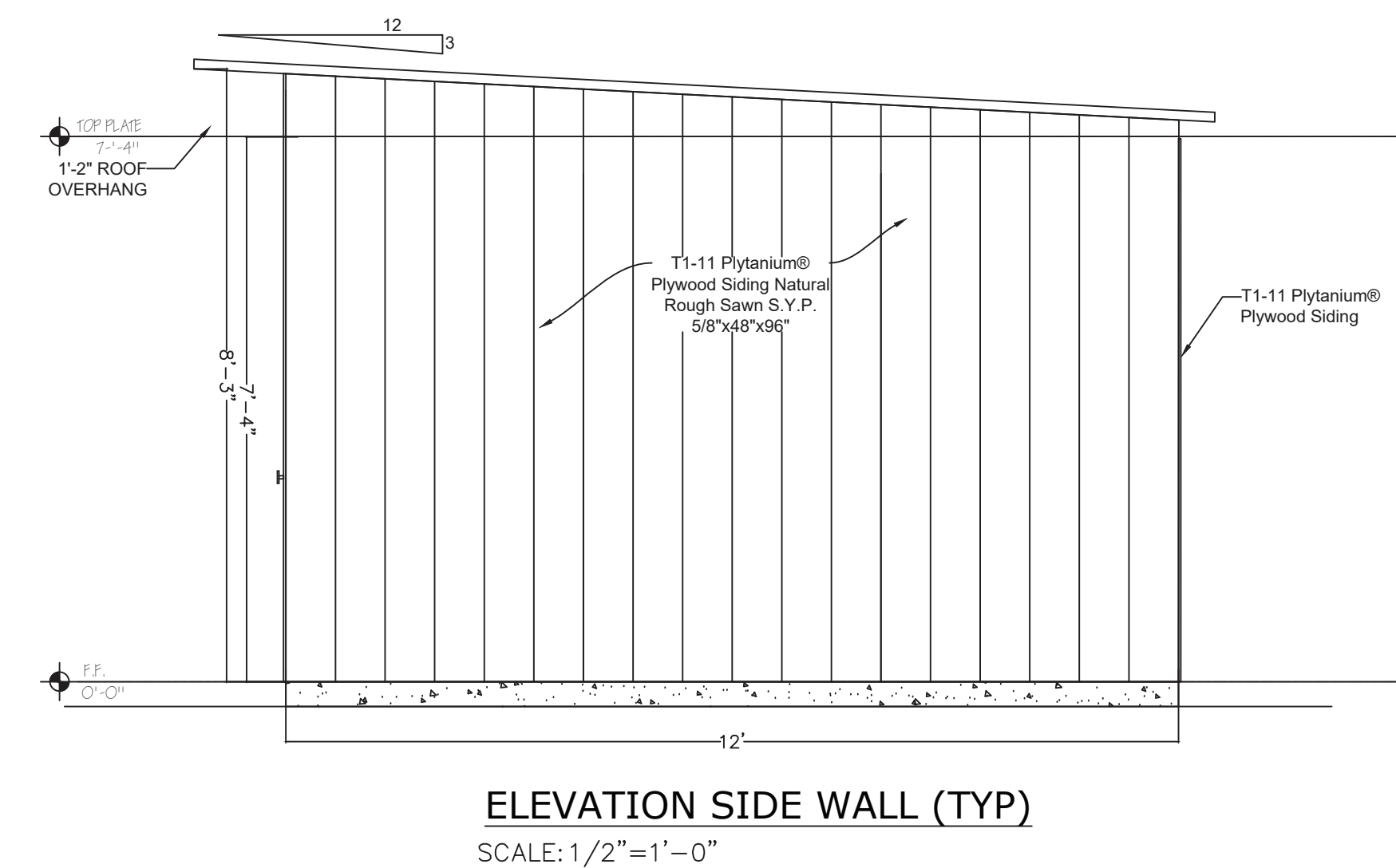
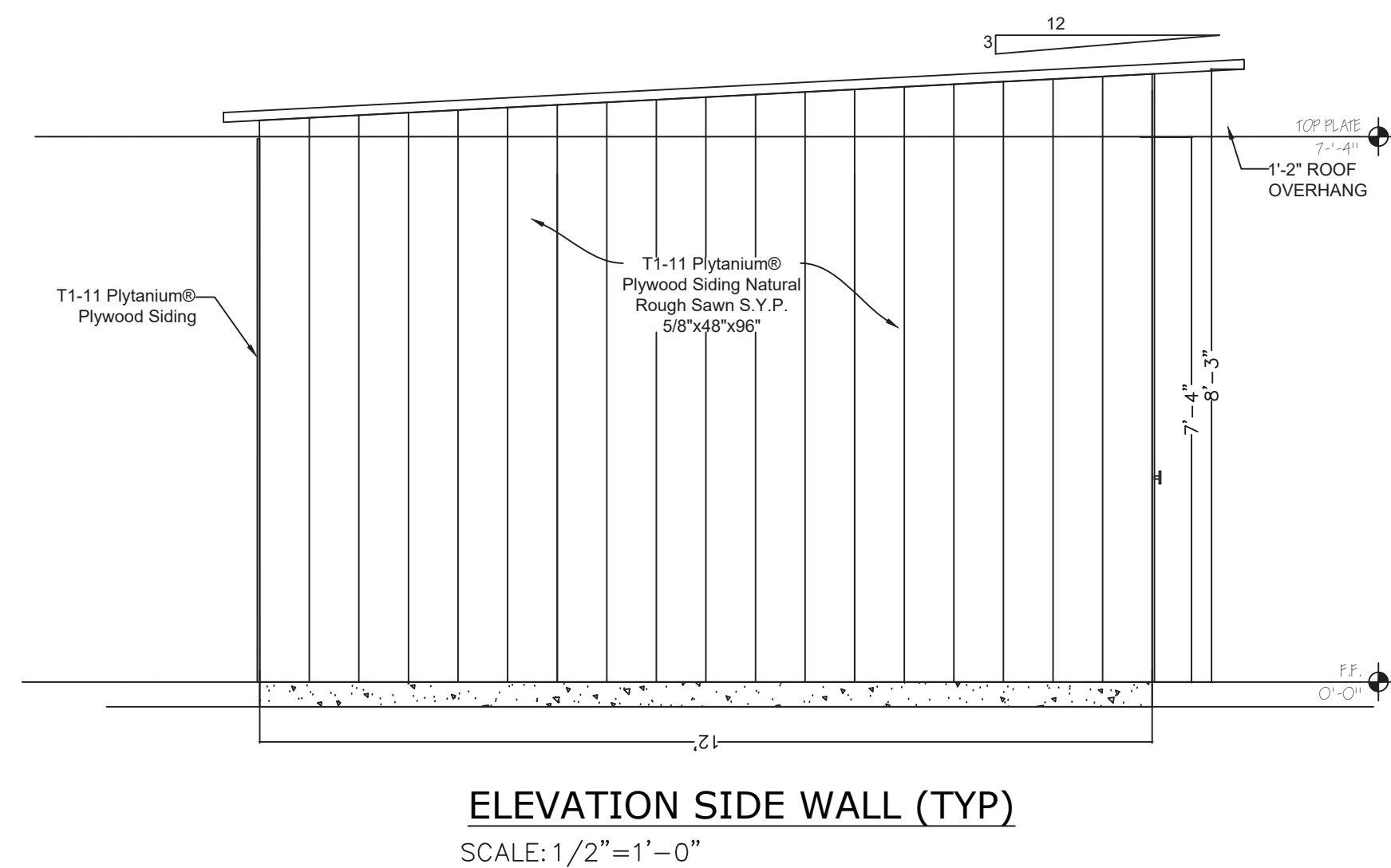
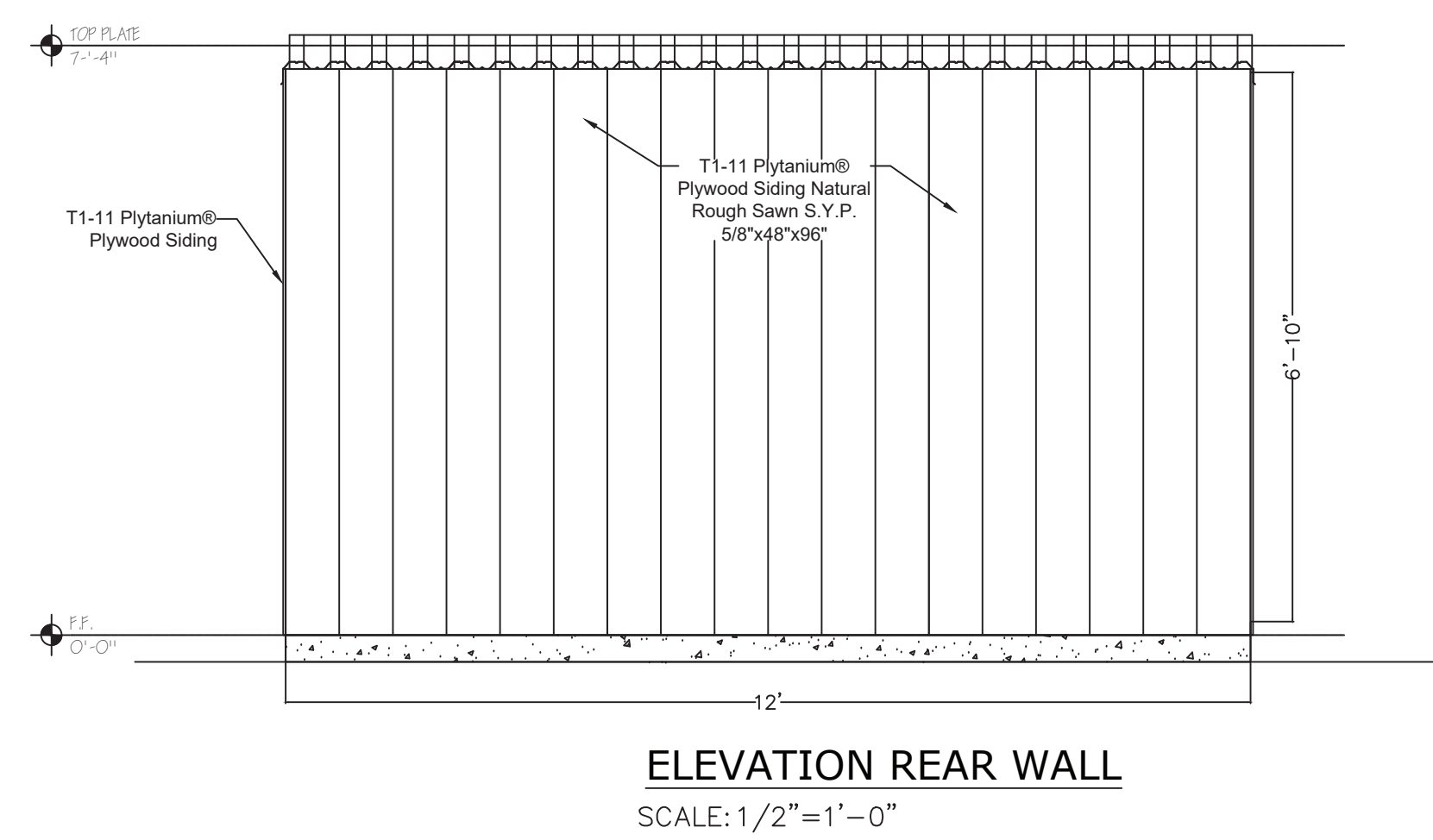
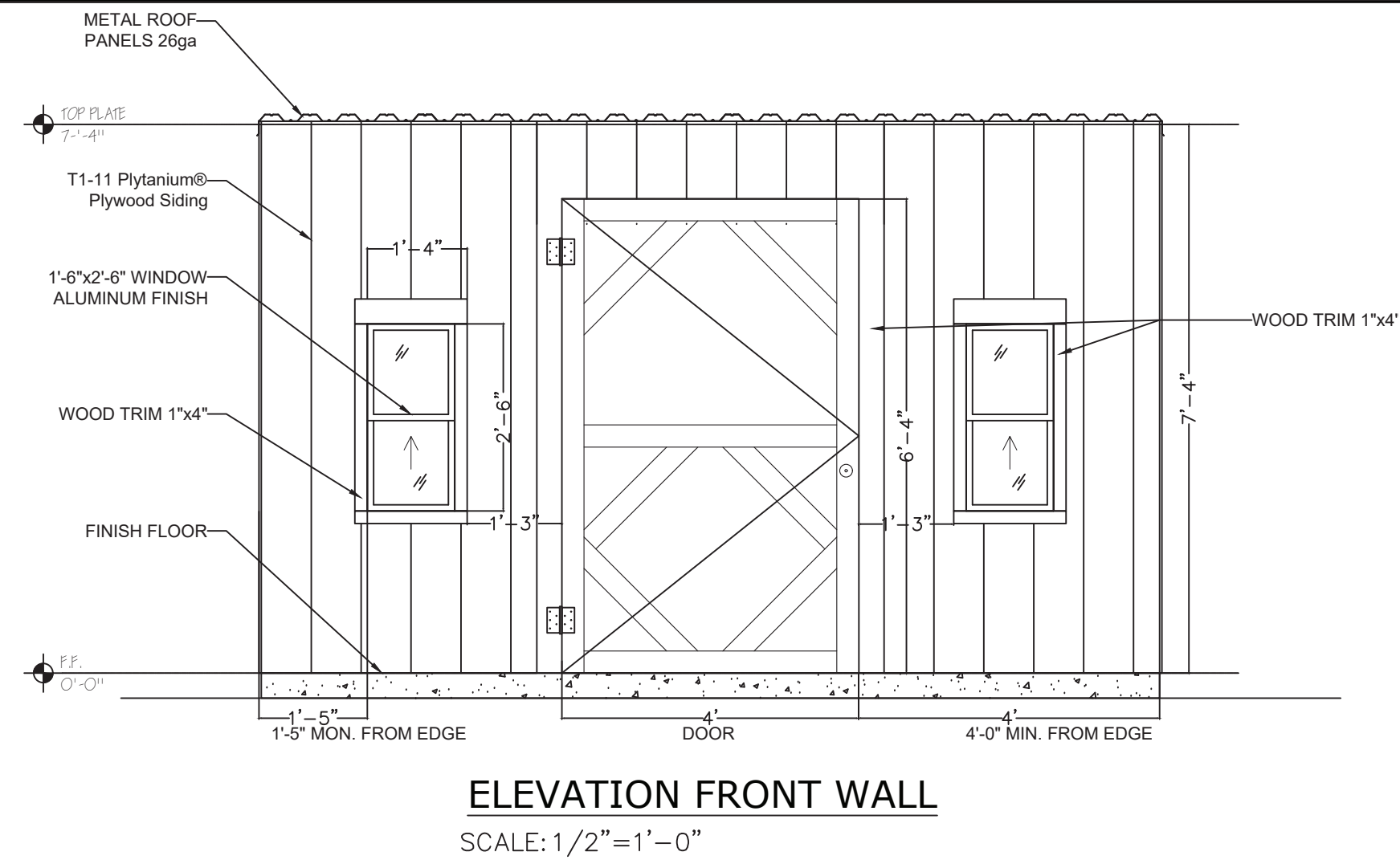
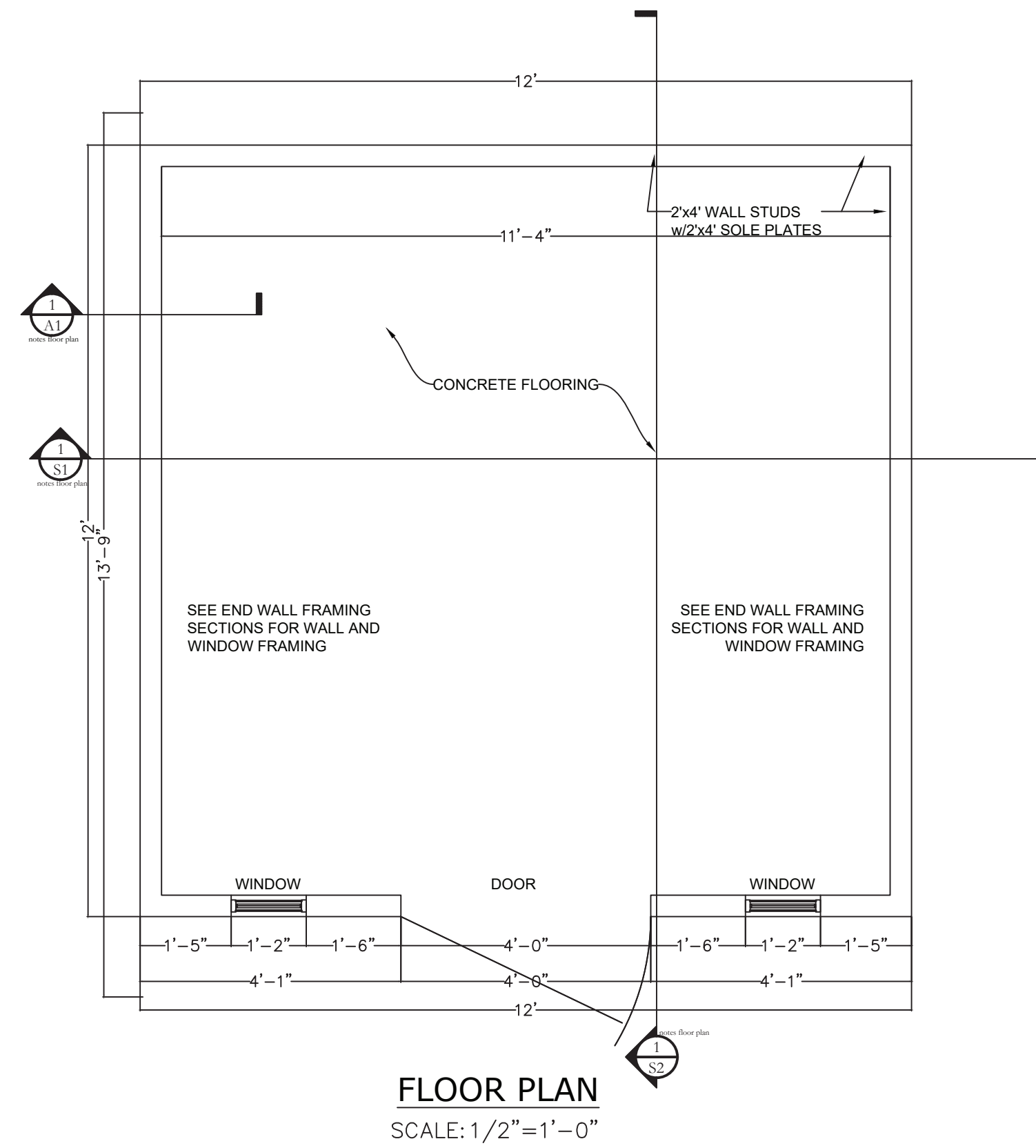
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PROJECT No:	060225.003
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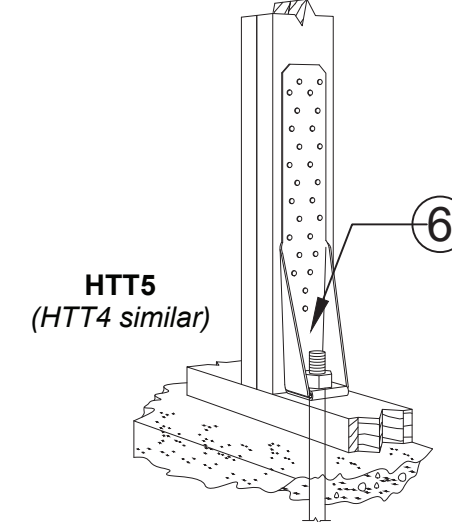
DATE:	June 02, 2025
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COVER SHEET

SHEET NO:	G1
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ANCHOR HOLD-DOWN DETAIL
SCALE: NTS



ANCHOR HOLD-DOWN DETAIL
SCALE: NTS

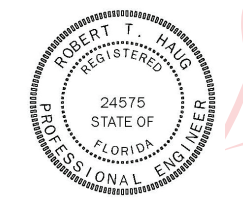
TYPICAL FASTENERS AND CONNECTORS SCHEDULE (SEE DETAILS SHEET S2)			
ID	SIMPSON	DESCRIPTION	FASTENERS
3	SPH4	STUD PLATE TIE, HEAVY	(10)0.148 x 1 1/2"
4	HIOA	HURRICANE TIE	(9)0.148 x 1 1/2"
5	HTS24	HEAVY TWIST STRAP	(16)0.148 x 1 1/2"
6	HTTH	ANCHOR HOLD-DOWN	5/8" ANCHOR BOLT 2 5/8" STUD BOLT
7	MSTA24	MEDIUM STRAP TIE	(18)0.148 x 2 1/2"



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BUILDING DESIGN

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REVISIONS

NO.	DESCRIPTION

SITE BUILT LEAN-TO SHED
7747 NATURE TRAIL
LAKELAND, FLORIDA
33803

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PROJECT No: 060225.003

DATE: June 02, 2025

FLOOR PLAN
ELEVATIONS
FOUNDATION
DETAILS

SHEET NO:

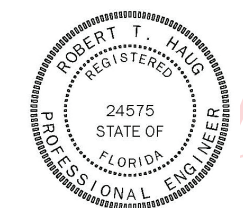
A1



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REVISIONS

NO.	DESCRIPTION

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PROJECT No: 060225.003

DATE: June 02, 2025

FRAMING PLAN
FRAMING ELEVATION
FRAMING DETAILS

SHEET NO: A2

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PROJECT No: 060225.003

DATE: June 02, 2025

FRAMING PLAN
FRAMING ELEVATION
FRAMING DETAILS

SHEET NO: A2

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PROJECT No: 060225.003

DATE: June 02, 2025

FRAMING PLAN
FRAMING ELEVATION
FRAMING DETAILS

SHEET NO: A2

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PROJECT No: 060225.003

DATE: June 02, 2025

FRAMING PLAN
FRAMING ELEVATION
FRAMING DETAILS

SHEET NO: A2

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PROJECT No: 060225.003

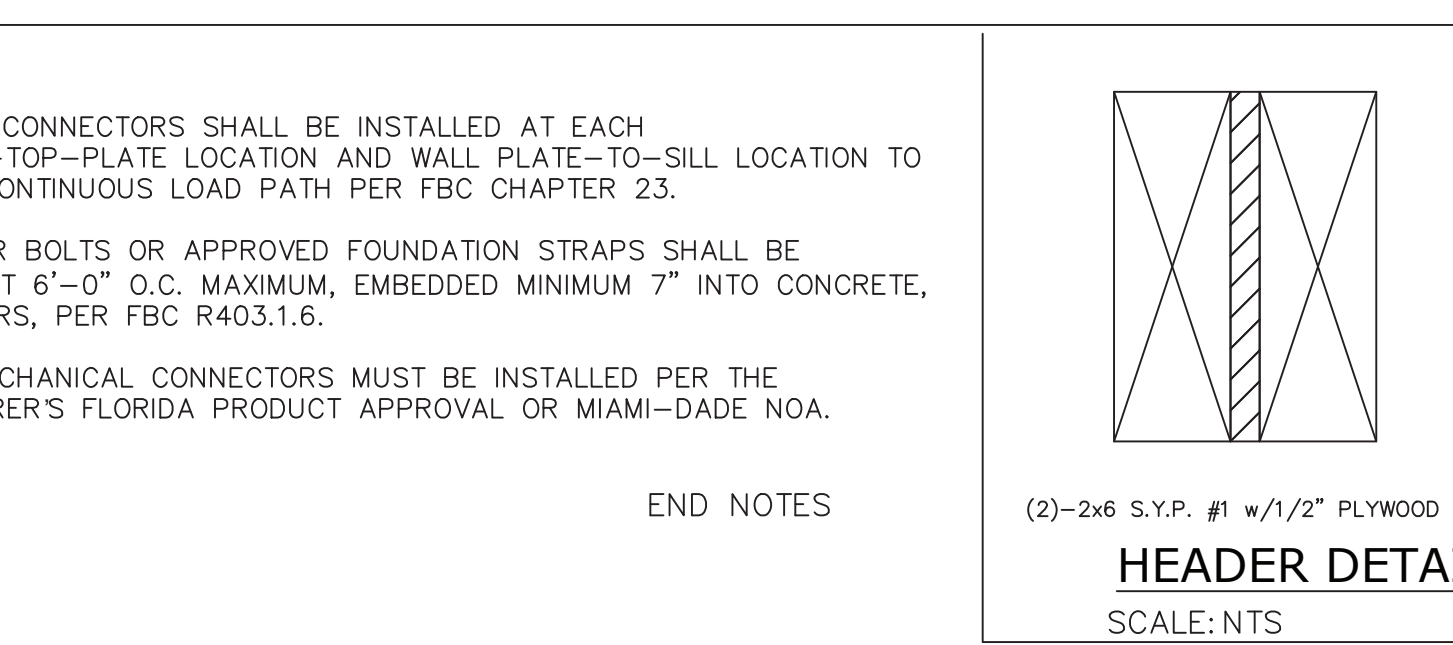
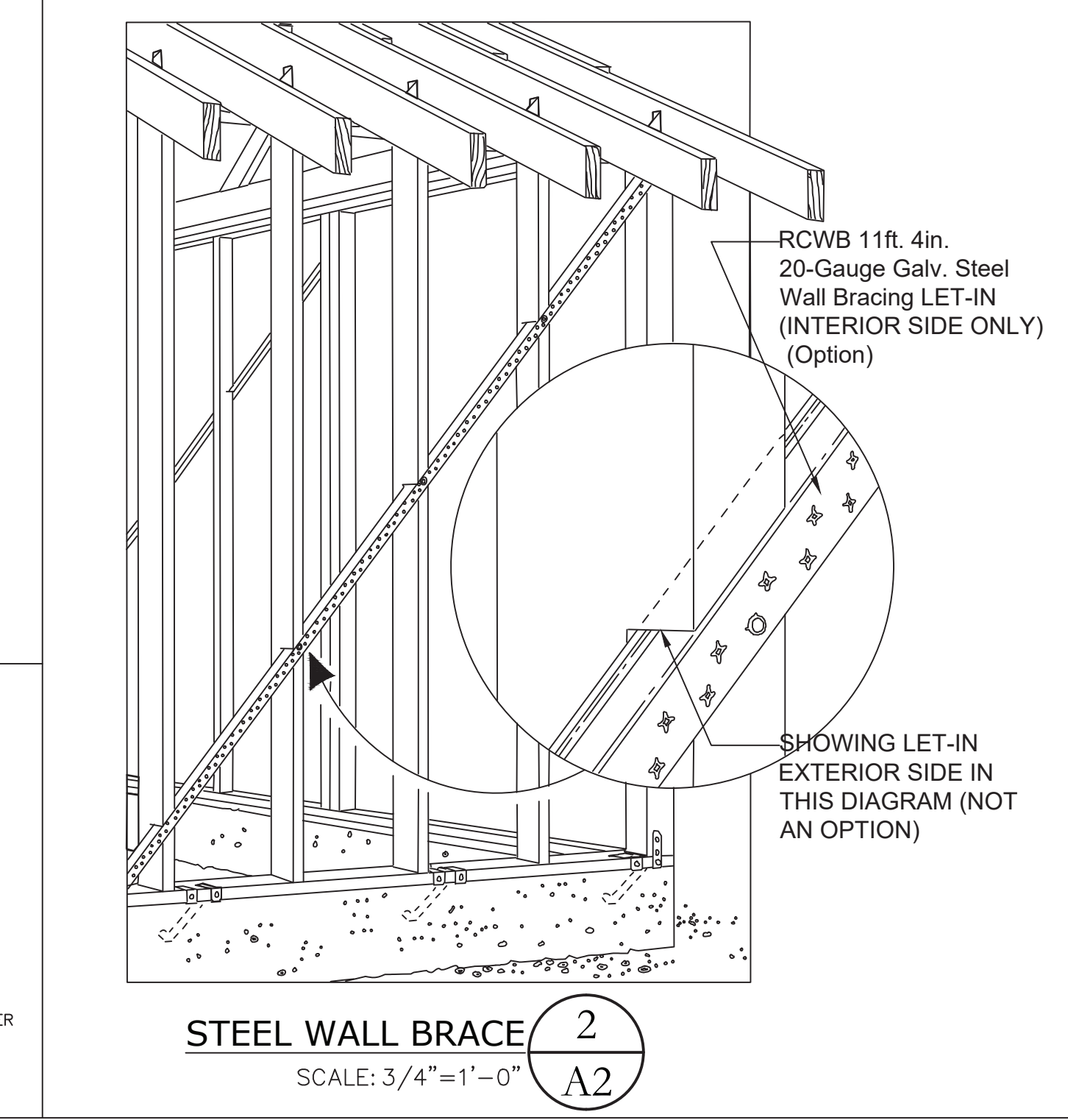
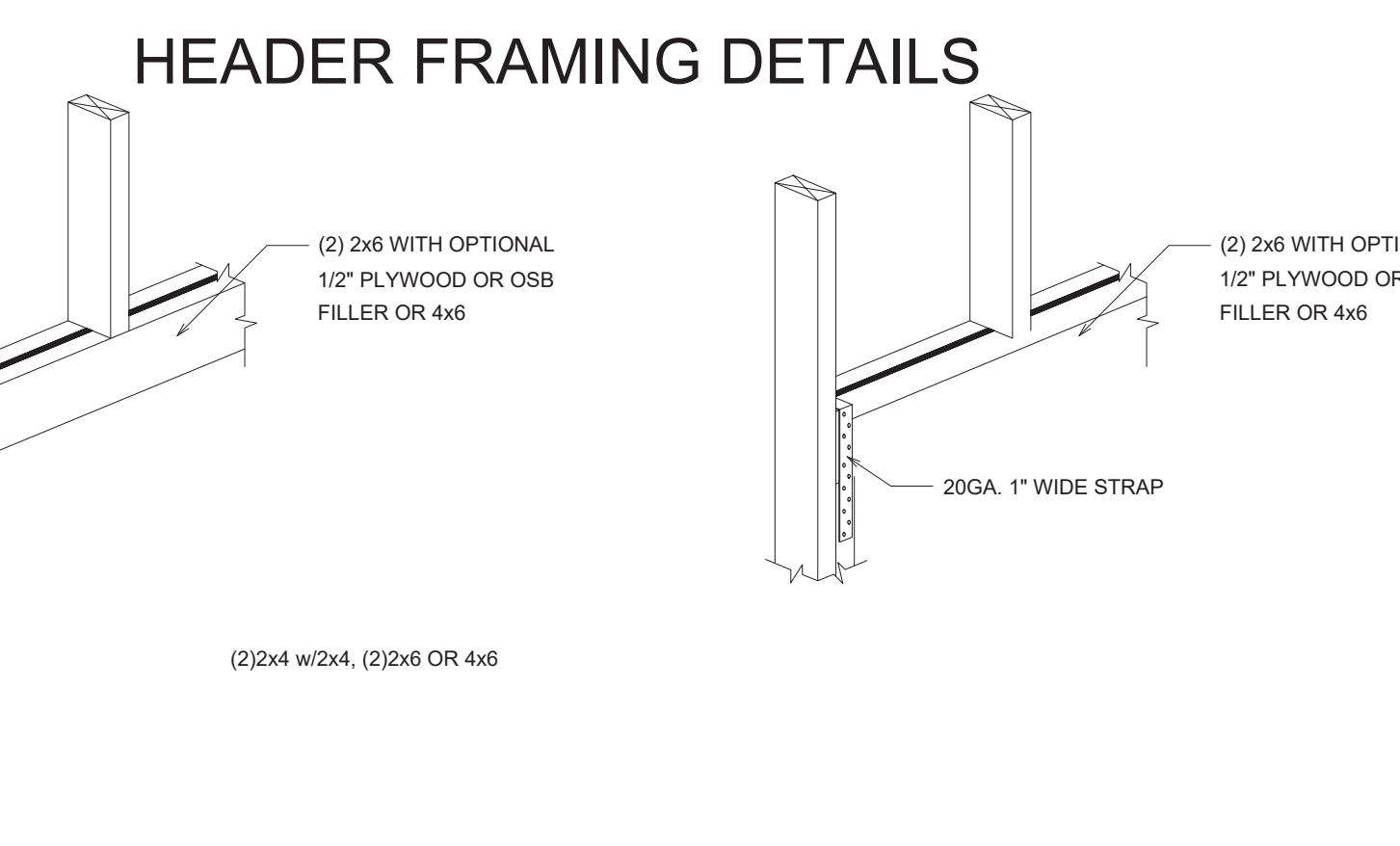
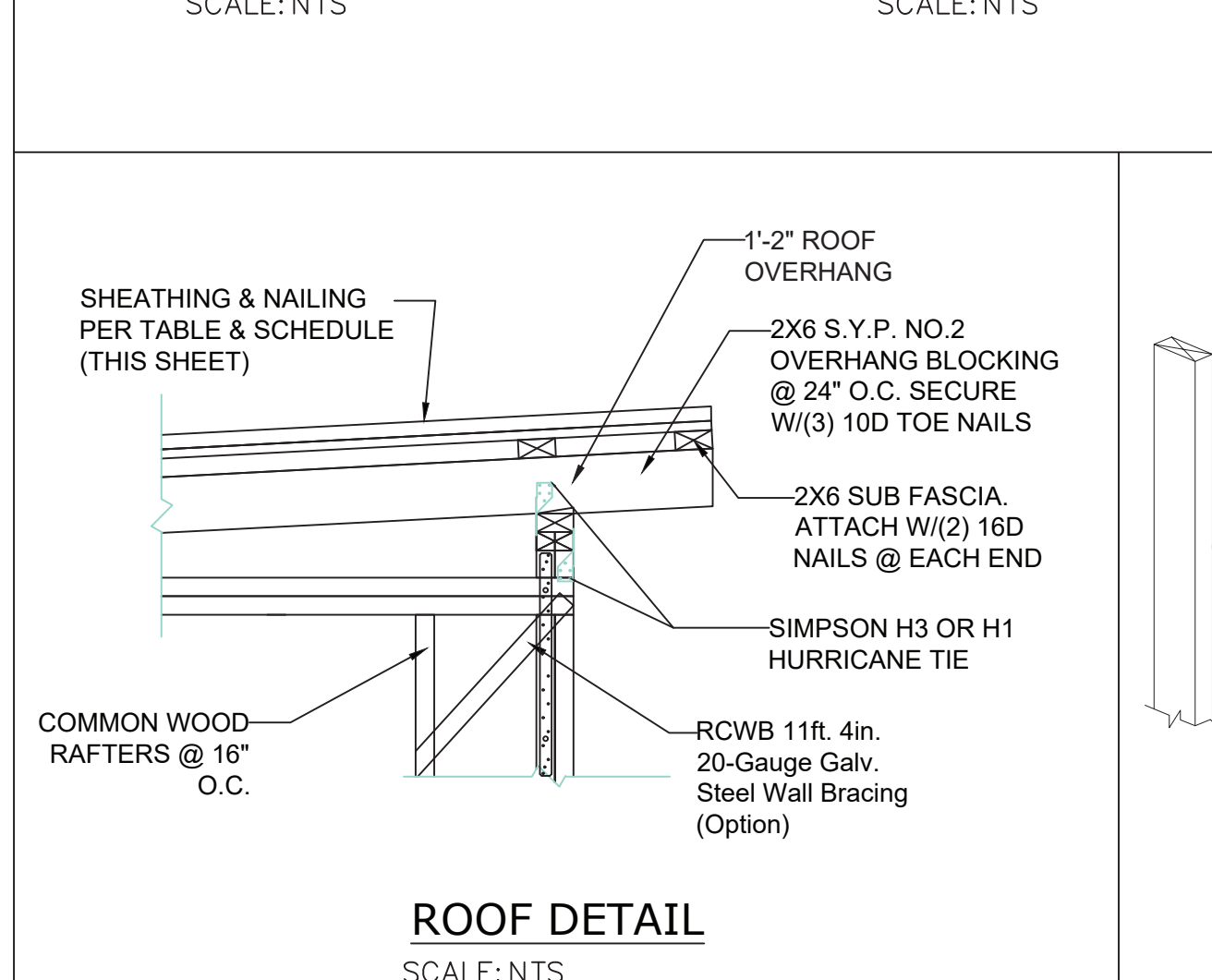
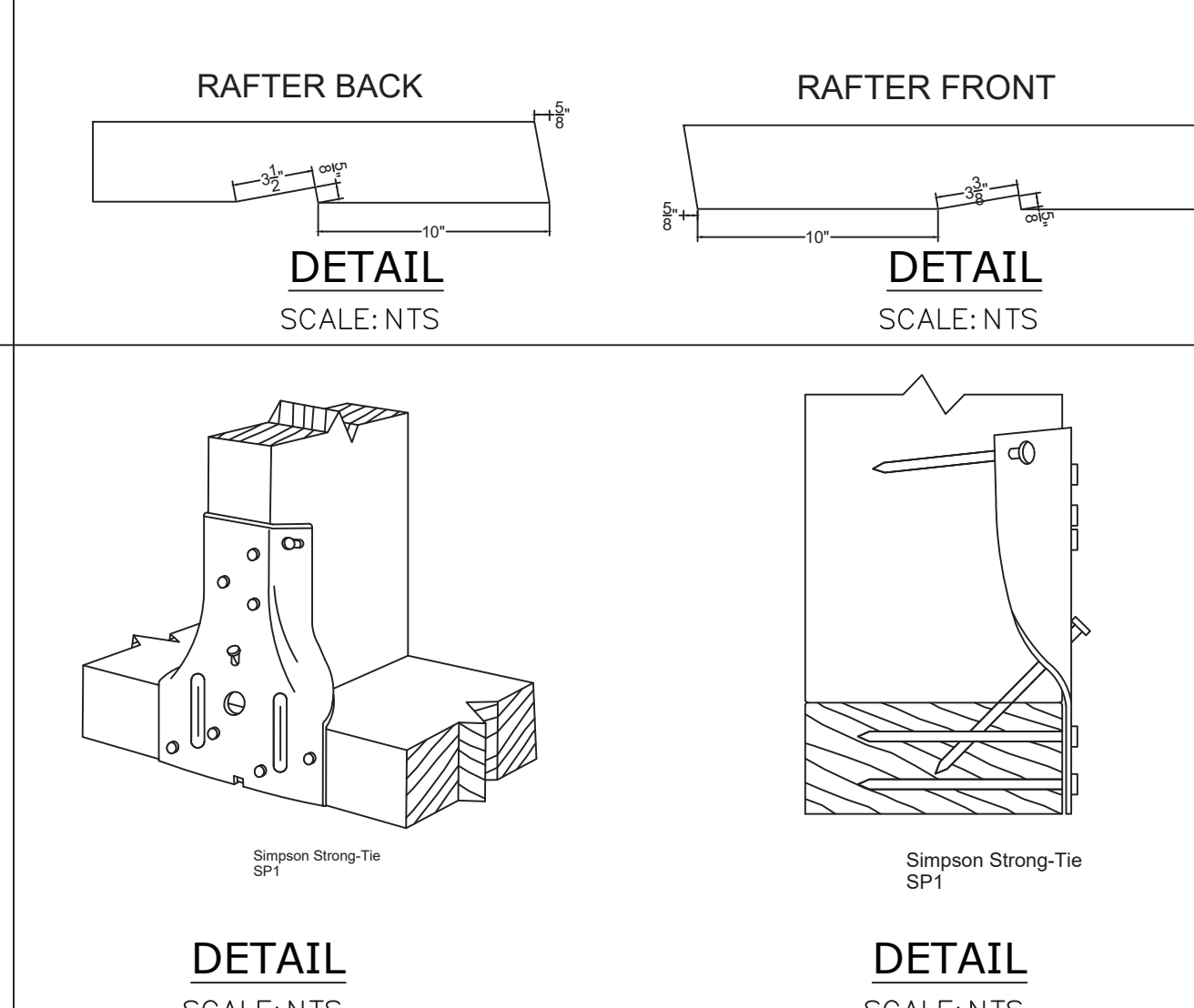
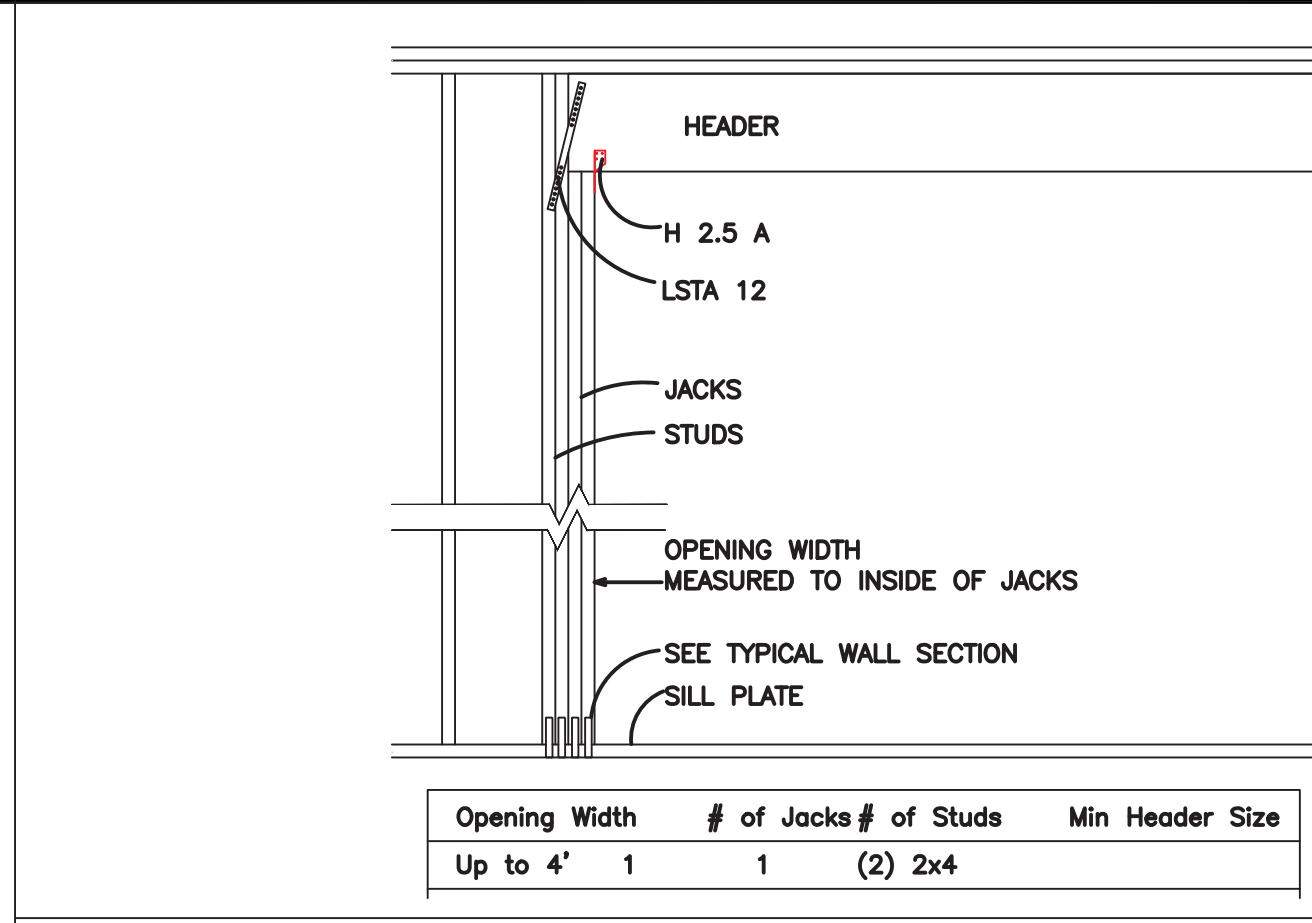
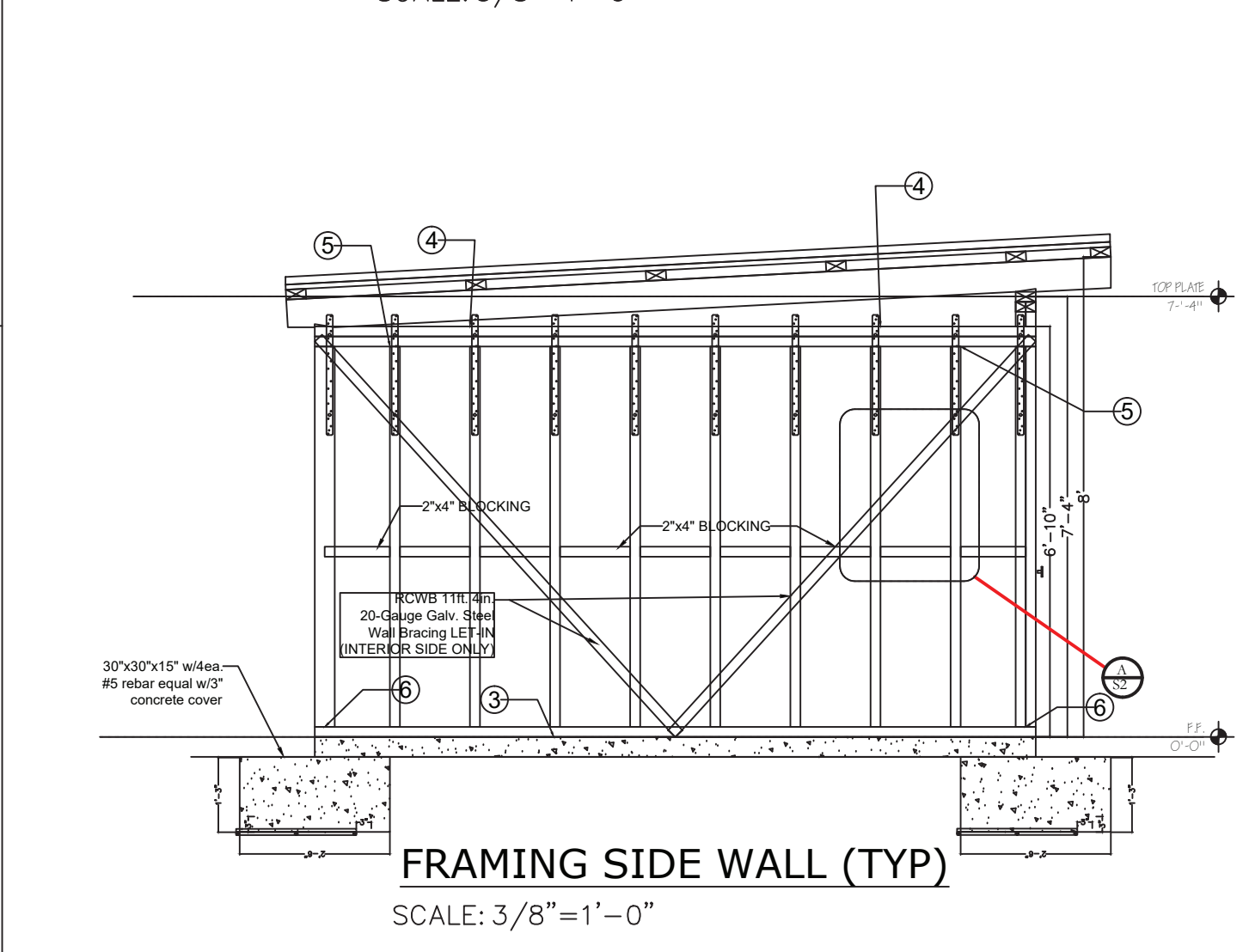
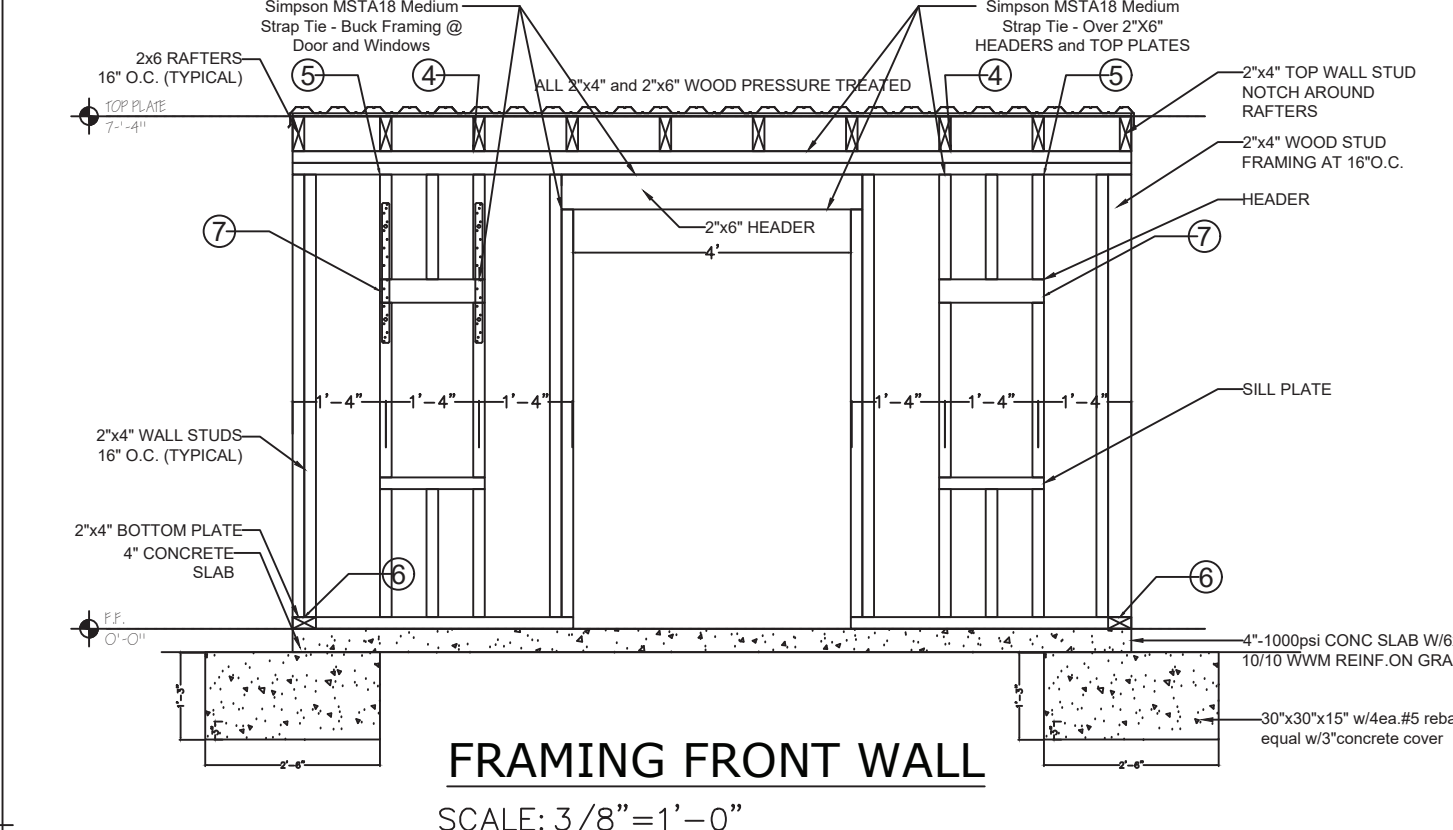
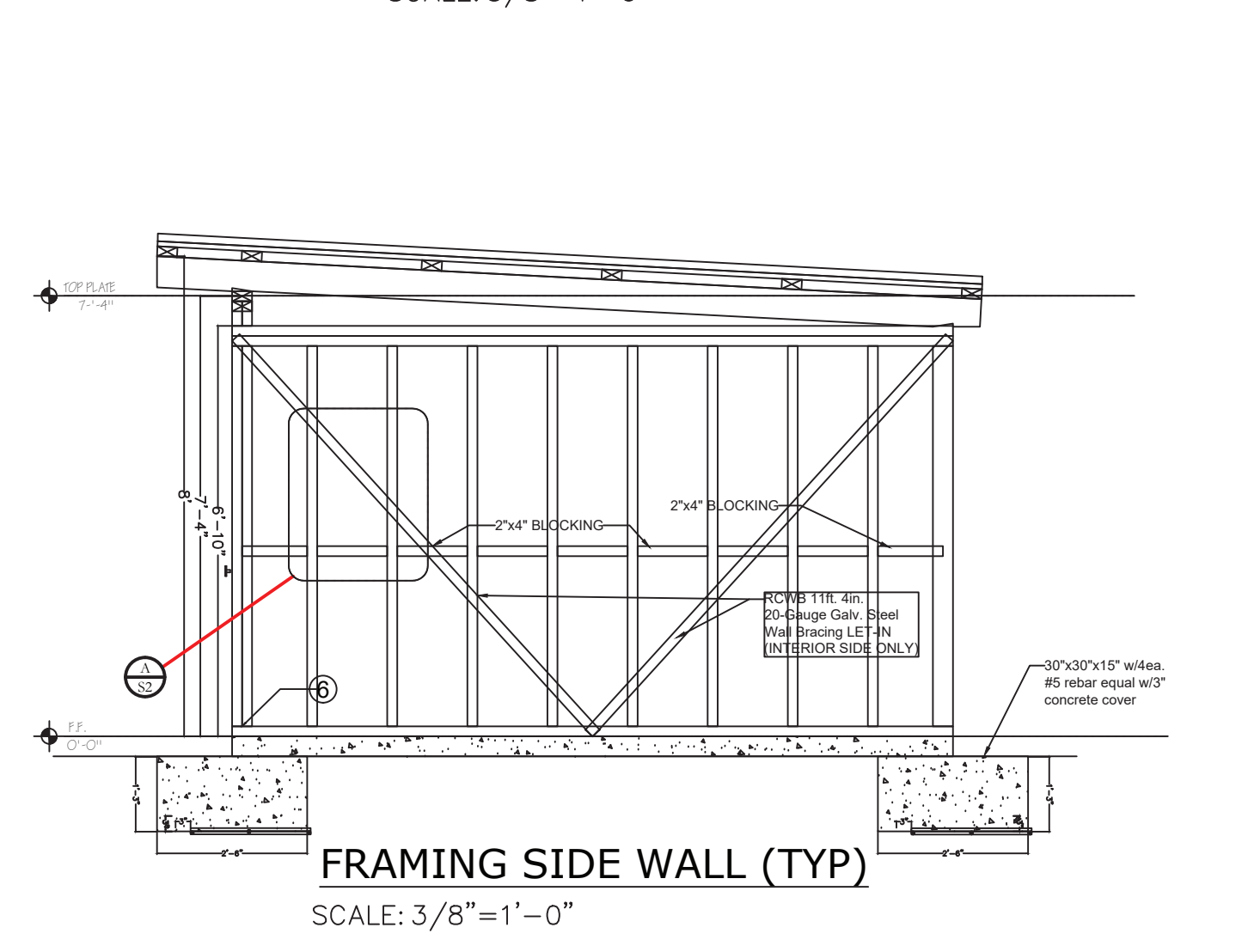
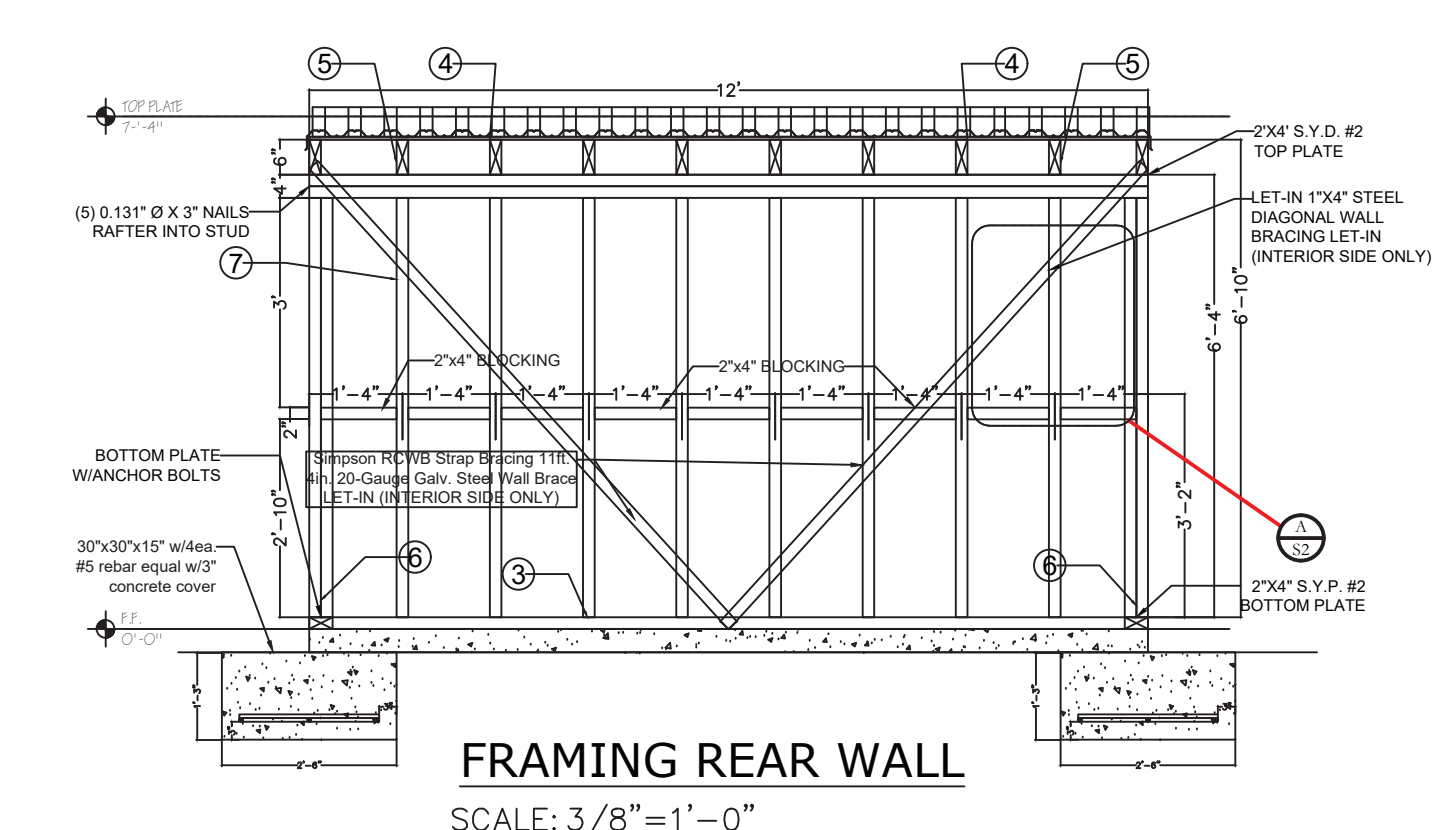
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FRAMING PLAN
FRAMING ELEVATION
FRAMING DETAILS

SHEET NO: A2

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END NOTES

- TOP OF SLAB SHALL BE A MINIMUM OF 8" ABOVE FINISHED GRADE PER FBC R404.1.6.
- ALL FOOTINGS SHALL BEAR A MINIMUM OF 12" BELOW FINISHED GRADE.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 2,500 PSI AT 28 DAYS.
- GRANULAR FILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER AASHTO T-99. CLAY OR ORGANIC SOILS ARE NOT ACCEPTABLE.
- A 6-MIL POLYETHYLENE VAPOR BARRIER SHALL BE INSTALLED UNDER THE SLAB IN ACCORDANCE WITH FBC R506.2.3.
- TERMITE TREATMENT OF ALL SOIL UNDER THE SLAB IS REQUIRED. A "CERTIFICATE OF TERMITE TREATMENT" SHALL BE POSTED AT THE JOB SITE PER FBC R318.1 AND FBC 105.10.
- PROVIDE (1) #5 COPPER-CLAD GROUND WIRE TIED TO SLAB REINFORCEMENT AND ROUTED TO ELECTRICAL SERVICE PANEL, PER NEC AND FBC ENERGY CODE GROUNDING REQUIREMENTS.

SECTION 4: FASTENERS & CONNECTORS

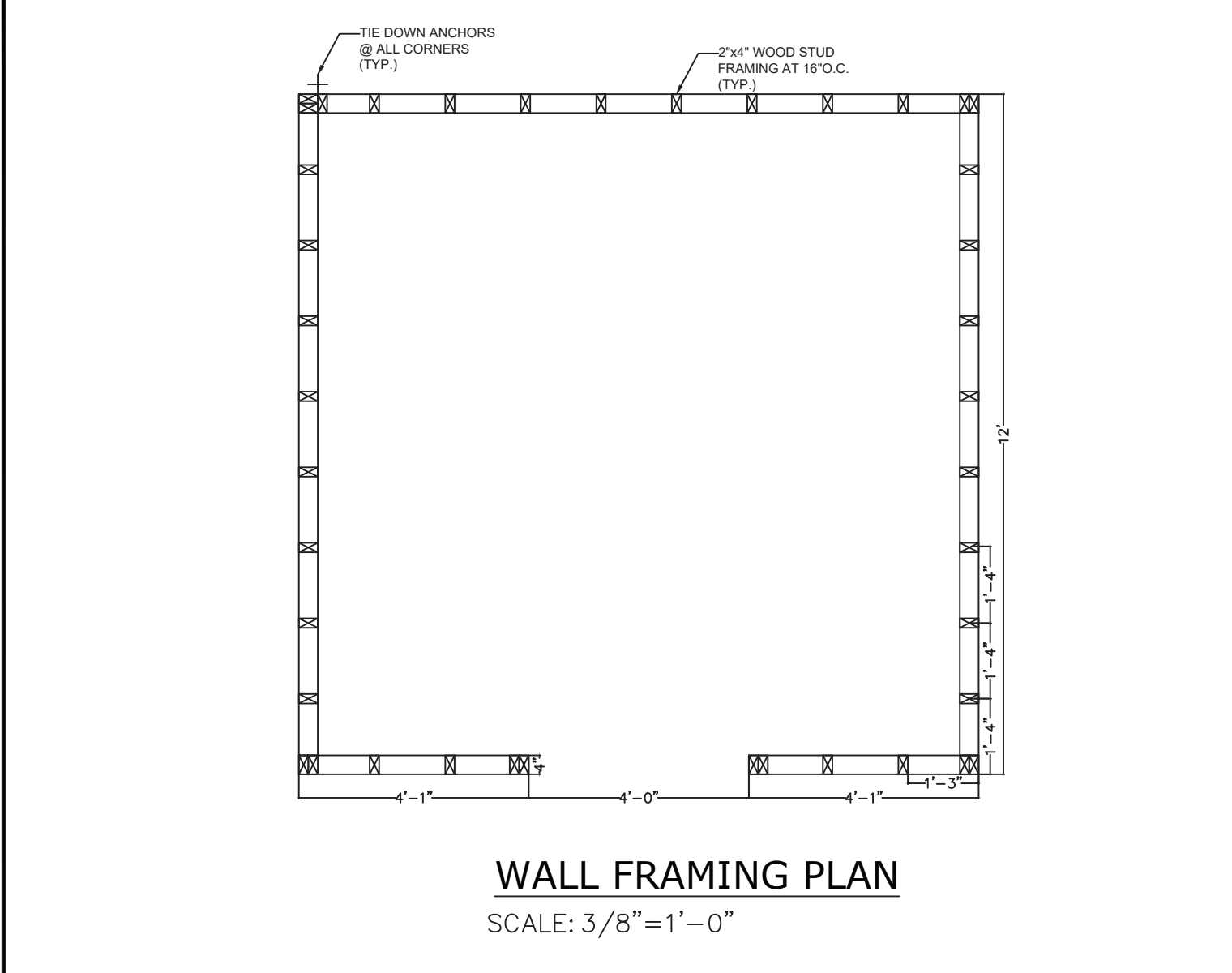
- ALL FRAMING CONNECTIONS SHALL USE GALVANIZED OR STAINLESS-STEEL FASTENERS RATED FOR PRESSURE-TREATED WOOD AND EXTERIOR EXPOSURE, PER FBC 2304.10.5.
- NAILS SHALL CONFORM TO FBC TABLE 2304.10.1 AND NDS TABLE 12.3B FOR WOOD CONSTRUCTION. EXAMPLE: 8D = 2 1/2" X 0.131" DIA.

CONTINUE NOTES

PRODUCT APPROVAL SPECIFICATION LIST (FLORIDA)

CATEGORY/SUB-CATEGORY	MANUFACTURER, MODEL NUMBER/SERIES	DESCRIPTION	FL PRODUCT APPROVAL NUMBER
STRUCTURAL COMPONENTS			
WOOD CONNECTORS	SIMPSON STRONG TIES, SPH4	STUD PLATE TIE, HEAVY	FL10456
WOOD CONNECTORS	SIMPSON STRONG TIES, HIOA	HURRICANE TIE	FL10456, FL10446
WOOD CONNECTORS	SIMPSON STRONG TIES, HTS24	HEAVY TWIST STRAP	FL10456, FL13872
WOOD CONNECTORS	SIMPSON STRONG TIES, MST24	MEDIUM STRAP TIE	FL10456, FL13872
WOOD ANCHORS	SIMPSON STRONG TIES, HTTH	ANCHOR HOLD-DOWN	FL13872, FL11496
SHEDS	---	---	---

AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 61G20-3



SECTION 1: GENERAL NOTES

- THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE (8TH EDITION), INCLUDING SECTION 1609 FOR WIND DESIGN, AND ASCE 7-22 WHERE APPLICABLE.
- ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL COMPLY WITH THE FLORIDA BUILDING CODE (2023), APPLICABLE POLK COUNTY AMENDMENTS, AND ALL CURRENT LOCAL ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION.
- WRITTEN DIMENSIONS ON THE DRAWINGS SHALL GOVERN. DO NOT SCALE PLANS.
- FRAMING MEMBER SPACING SHALL NOT EXCEED THE MAXIMUMS INDICATED ON THE PLANS. OVERALL EXTERIOR DIMENSIONS MAY VARY SLIGHTLY WITHIN ALLOWABLE CONSTRUCTION TOLERANCES.
- LUMBER SHALL BE SOUTHERN YELLOW PINE (S.Y.P.), KILN-DRIED TO 12-15% MOISTURE CONTENT, AND GRADED AS FOLLOWS:
 - WALL STUDS & ROOF RAFTERS: 2x4 S.Y.P. #1 AT 16" O.C. MAXIMUM.
 - IF S.Y.P. #2 IS USED, FRAMING WITHIN 3'-0" OF CORNERS SHALL BE SPACED AT 12" O.C. MAX; REMAINDER OF WALL/ROOF FRAMING MAY BE SPACED AT 16" O.C. MAX.
- ROOF RAFTERS SHALL ALIGN DIRECTLY OVER WALL STUDS AND MATCH THEIR SPACING.
- THE ROOF SLOPE SHALL COMPLY WITH MANUFACTURER REQUIREMENTS FOR 29-GAUGE METAL ROOFING. MINIMUM SLOPE IS TYPICALLY 1:12, BUT MUST MEET APPROVED PRODUCT LISTING.
- WHEN METAL ROOFING PANELS ARE INSTALLED VERTICALLY, SOLID 1x4 PURLINS OR HAT CHANNEL FURRING STRIPS MAY BE USED, SPACED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND FASTENED PER ENGINEERED PRODUCT APPROVAL.
- ALL FASTENERS INTO PRESSURE-TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL, AS REQUIRED BY FBC SECTION 2304.10.5.
- ALL MATERIALS SHALL BE INSTALLED PER THEIR MANUFACTURER'S INSTRUCTIONS TO ENSURE COMPLIANCE WITH FLORIDA PRODUCT APPROVALS OR MIAMI-DADE NOAS.
- THIS STRUCTURE IS NOT TO BE USED FOR STORAGE OF FLAMMABLE, HAZARDOUS, OR COMBUSTIBLE MATERIALS.
- ALL DOORS SHALL BE OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, IN ACCORDANCE WITH FBC RESIDENTIAL SECTION R311.
- THE MAXIMUM WALL HEIGHT SHALL BE 8'-0". FRAMING SPACING FOR WALLS ≤ 7'-0" MAY BE INCREASED TO 24" O.C. ONLY IF NOT LOCATED NEAR CORNERS.
- ALL APPROVED PRODUCTS (ROOFING, FASTENERS, ANCHOR CONNECTORS, ETC.) MUST BE FLORIDA PRODUCT APPROVED OR HAVE EQUIVALENT CERTIFICATION.

SECTION 2: SITE INSTALLED ITEMS

- THE FOLLOWING ITEMS ARE TO BE PROVIDED AND INSTALLED BY OTHERS AND ARE NOT INCLUDED IN THESE DRAWINGS:
- CONCRETE SLAB WITH FOUR (4) 30"x30"x15" FOOTINGS AT EACH CORNER, WITH (4) #5 REINFORCING BARS PER FOOTER.
- SITE LEVELING, GRADING, AND COMPACTION.
- ALL ELECTRICAL SERVICE CONNECTIONS (IF APPLICABLE).
- ROOF DRAINAGE SYSTEM (GUTTERS/DOWNSPOUTS), PER FBC 2023 SECTION R801.3.
- ALL SITE-RELATED ITEMS ARE SUBJECT TO POLK COUNTY PERMITTING AND INSPECTION REQUIREMENTS.

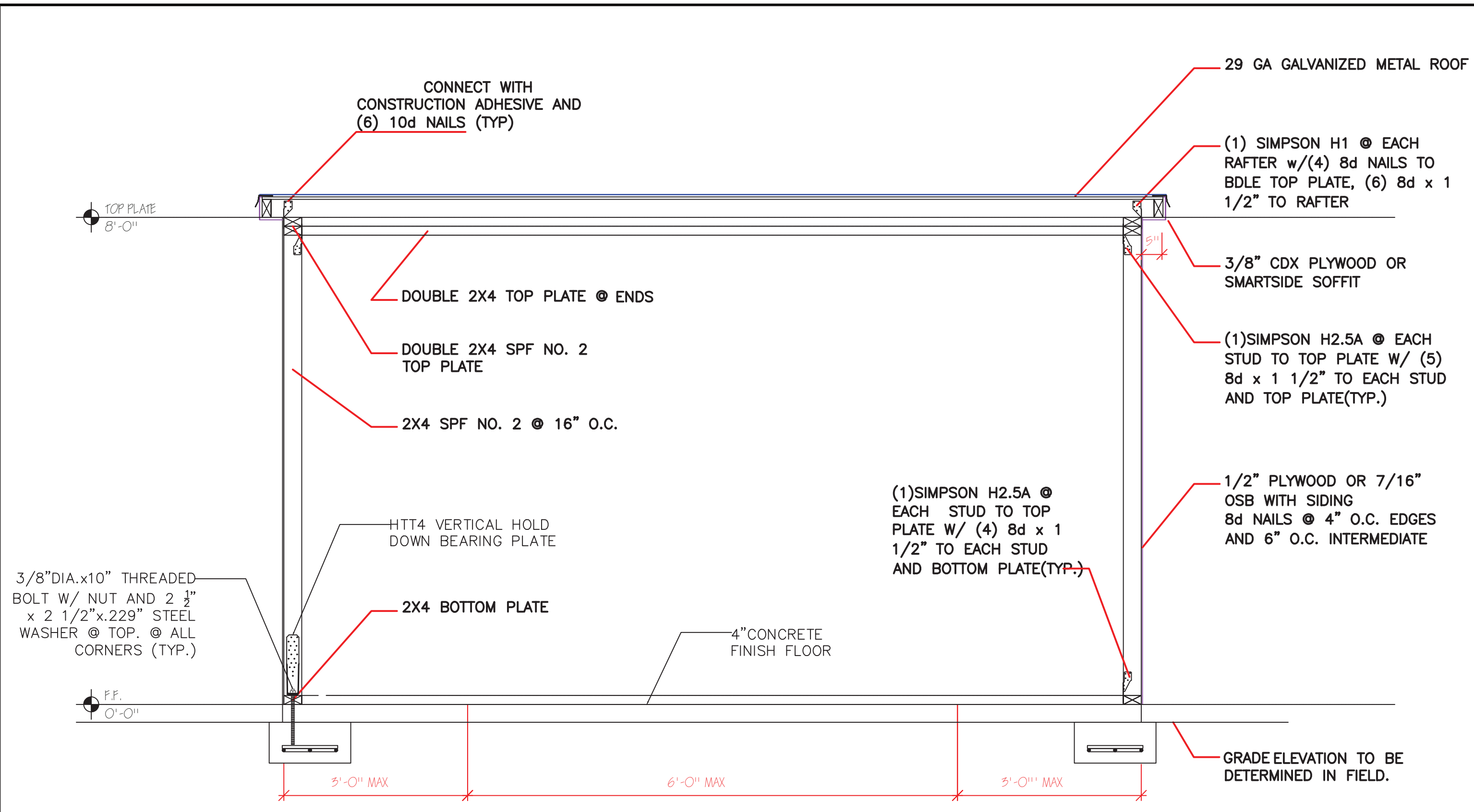
SECTION 3: FOUNDATION & SLAB REQUIREMENTS

- FOOTINGS SHALL BE 30"x30"x15" CONCRETE PADS AT EACH SHED CORNER, REINFORCED WITH (4) #5 REBAR TIED CONTINUOUSLY.
- CONCRETE SLAB SHALL BE 4" THICK, CAST-IN-PLACE OVER COMPACTED FILL, WITH WELDED WIRE FABRIC (6X6 W1.4/W1.4 MIN) AT MID-SLAB HEIGHT, UNLESS SYNTHETIC FIBERS ARE USED.

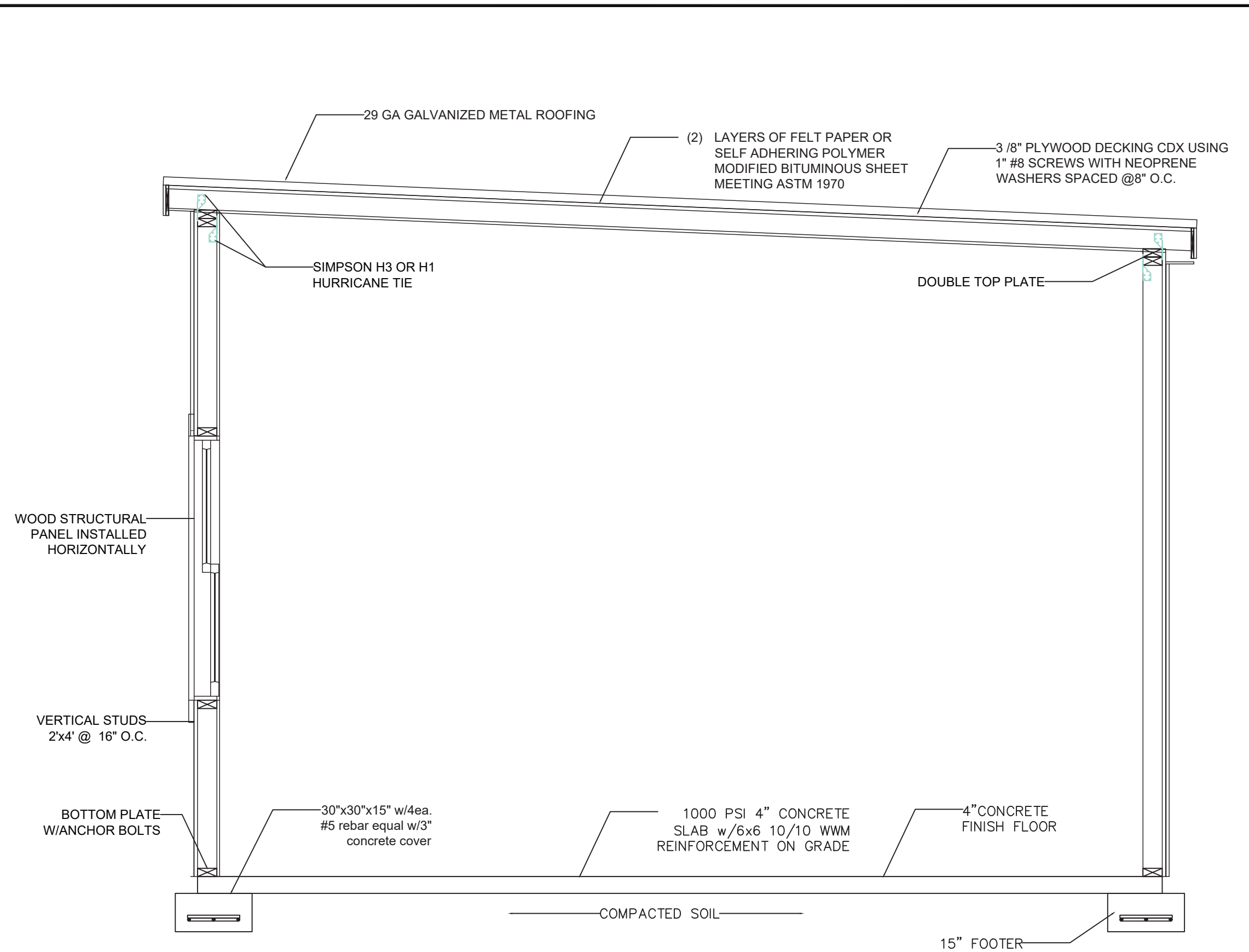
CONTINUE NOTES

CONTINUE NOTES

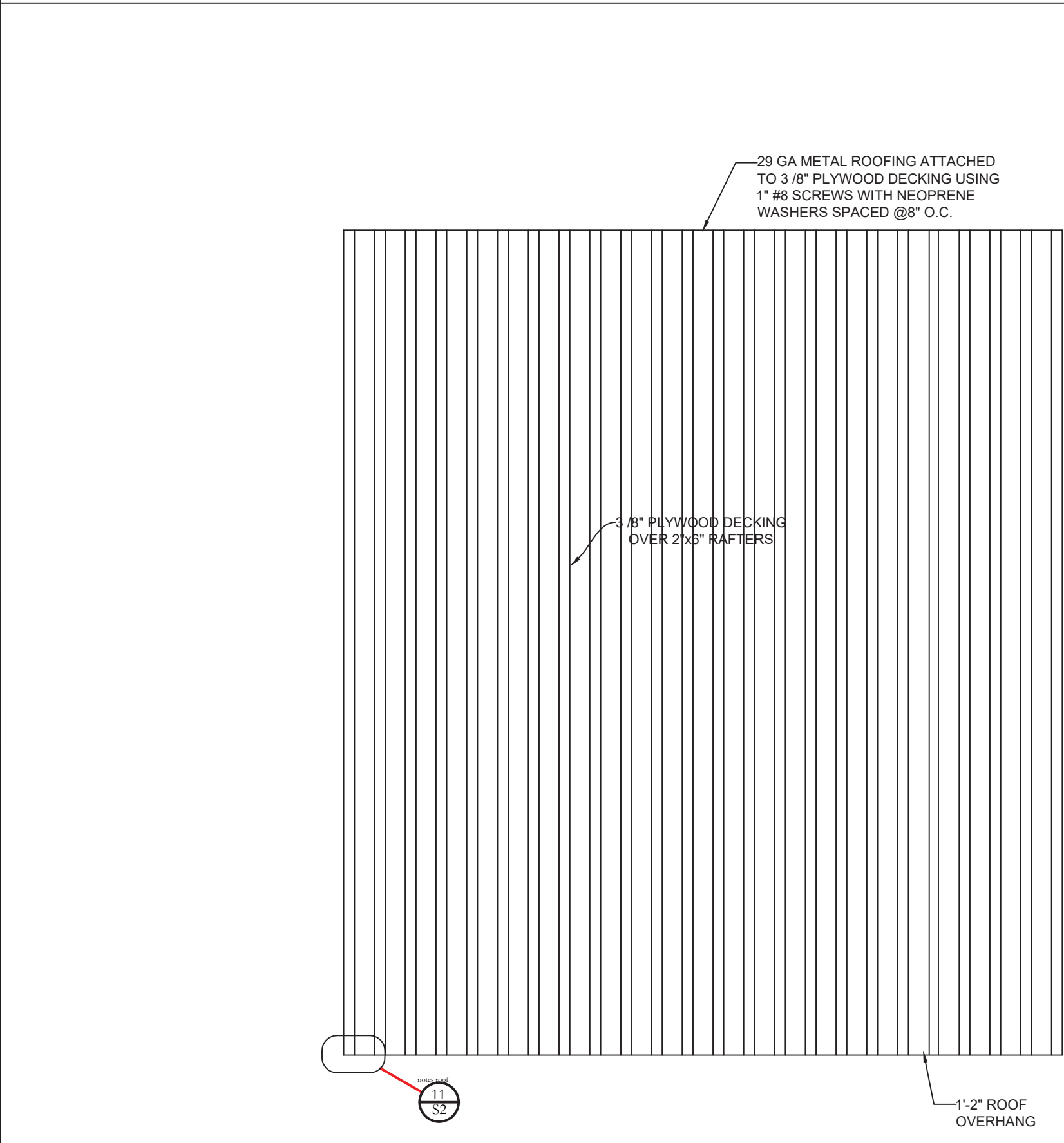
SITE BUILT LEAN-TO SHED
 7747 NATURE TRAIL
 LAKELAND, FLORIDA
 33803



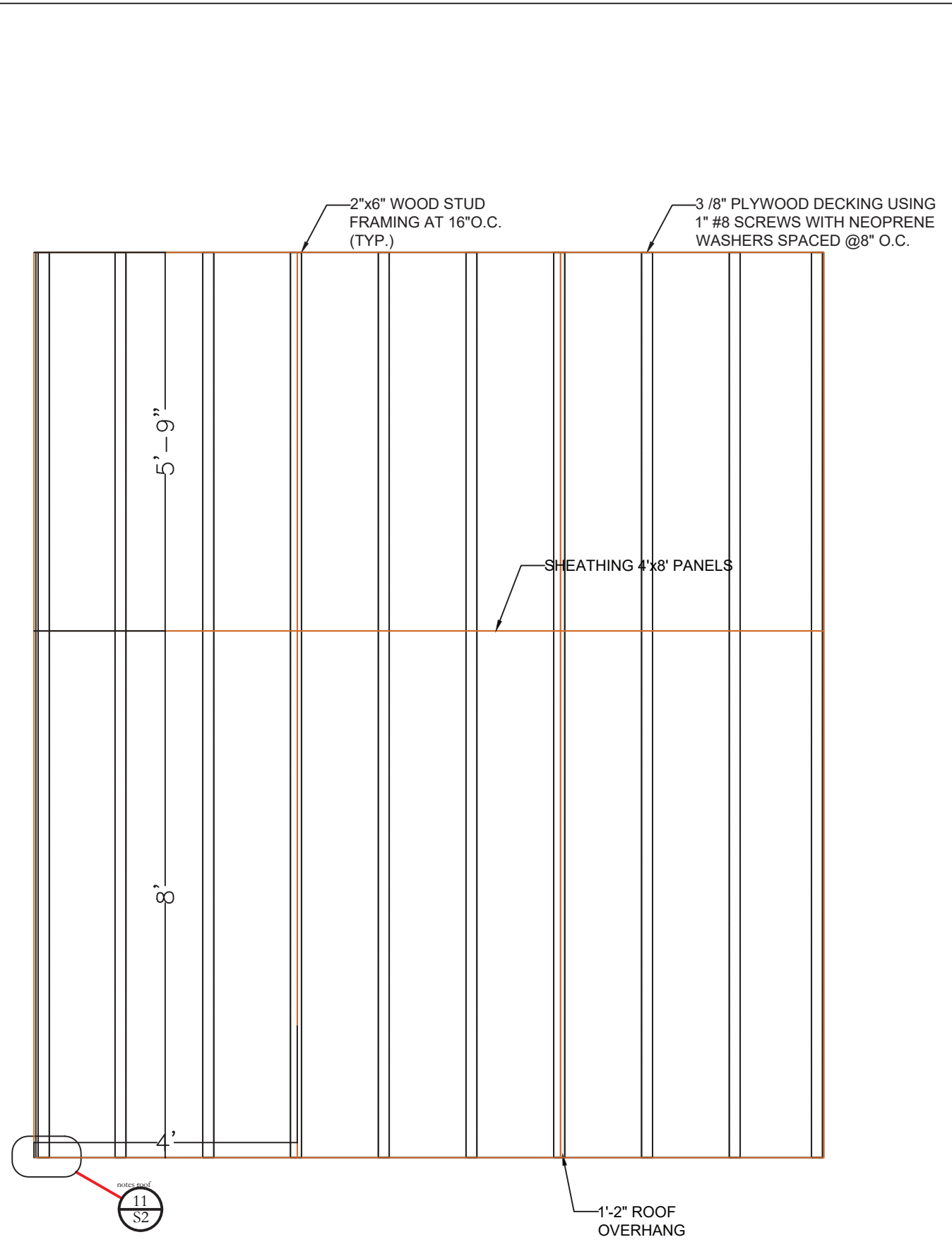
1 SECTION WOOD FRAME FRONT WALL
SCALE: NTS



2 SECTION END WALL
SCALE: NTS



ROOF PLAN
SCALE: 1/2"=1'-0"



ROOF FRAMING
SCALE: 1/2"=1'-0"

ROOF SHEATHING FASTENING NOTES

NAILING:
ALL ZONES: USE 8D RINGSHANK NAILS 4" O.C. EDGE & 4" INTERMEDIATE
NOTE:
IF PNEUMATIC NAILS ARE USED, USE A PASLODE OR EQUIVALENT, 2-3/8"x0.113 THREADED, COATED NAIL IN LIEU OF 8D RINGSHANK NAILS CALLED FOR ABOVE.

ROOF COVERAGE

29 GA GALVANIZED METAL ROOF OR SHINGLES SHALL COMPLY WITH ASTM D 7158 CLASS H OR ASTM D 3161 CLASS F OR TAS 107 OR AND R905.2.6.1 & TABLE R905.2.6.1 . ROOFING SHALL HAVE FLORIDA OR MIAMI - DADE PRODUCT APPROVAL FOR ULT WIND SPEED OF 180 MPH. INSTALL PER MANUFACTURER'S INSTRUCTIONS

SHEATHING REQUIREMENTS

SHINGLE OR METAL ROOF:
7/16" OR 1/2" C-D, GROUP 2, EXP. 1 APA RATED 24/16
WHERE PERMITTED BY LOCAL AUTHORITY, INNER SEAL OSB SHEATHING CAN BE USED:
SHINGLE OR METAL ROOF:
7/16", 5/32", OR 1/2" APA RATED 24/16

- NOTES:**
- 1) PLYWOOD TO BE PERPENDICULAR TO FRAMING. END JOINTS SHALL BE STAGGERED.
 - 2) CONTRACTOR SHALL INSTALL PLYWOOD USING PLYWOOD CLIPS WITH BUILT-IN SPACERS.
 - 3) UNDERLAYMENT: REFERENCE TABLE R905.1.1 FOR UA=UNDERLAYMENT ATTACHMENT
- METAL ROOF**
- 4-12 AND GREATER
 - ASTM D 226 TYPE 11, UA2
 - ASTM D 4869 TYPE IV, UA2 ASTM D 6757, UA2
 - ASTM D 1970, UA3
 - 4) ALL MEMBRANE FLASHINGS INSTALLED PER MANUFACTURER'S SPECIFICATIONS

THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH ASCE 7-16 FOR GRAVITY AND DESIGN PRESSURES GENERATED BY A ULTIMATE WIND SPEED OF 150 M.P.H @ 3 SECOND GUST & NOMINAL WIND SPEED OF 116 M.P.H., 3 SECOND GUST.



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REVISIONS

SITE BUILT LEAN-TO SHED
7747 NATURE TRAIL
LAKELAND, FLORIDA
33803

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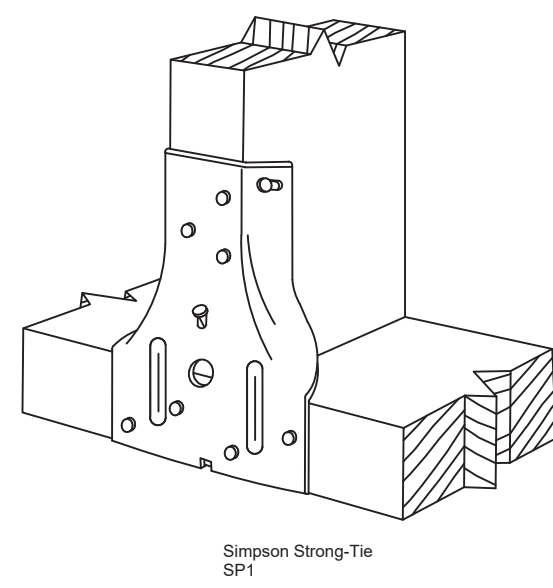
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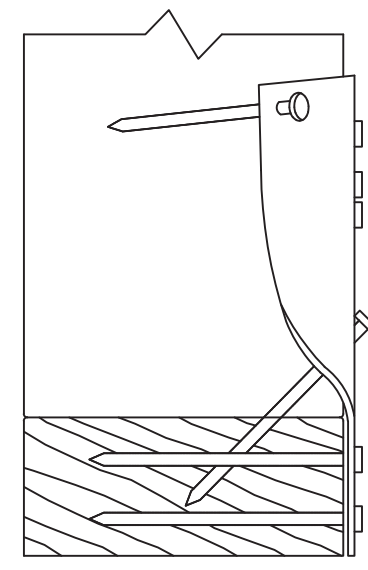
PROJECT No: **060225.003**
DATE: **June 02, 2025**

ROOF PLAN
ROOF FRAMING
...

SHEET NO:
S1



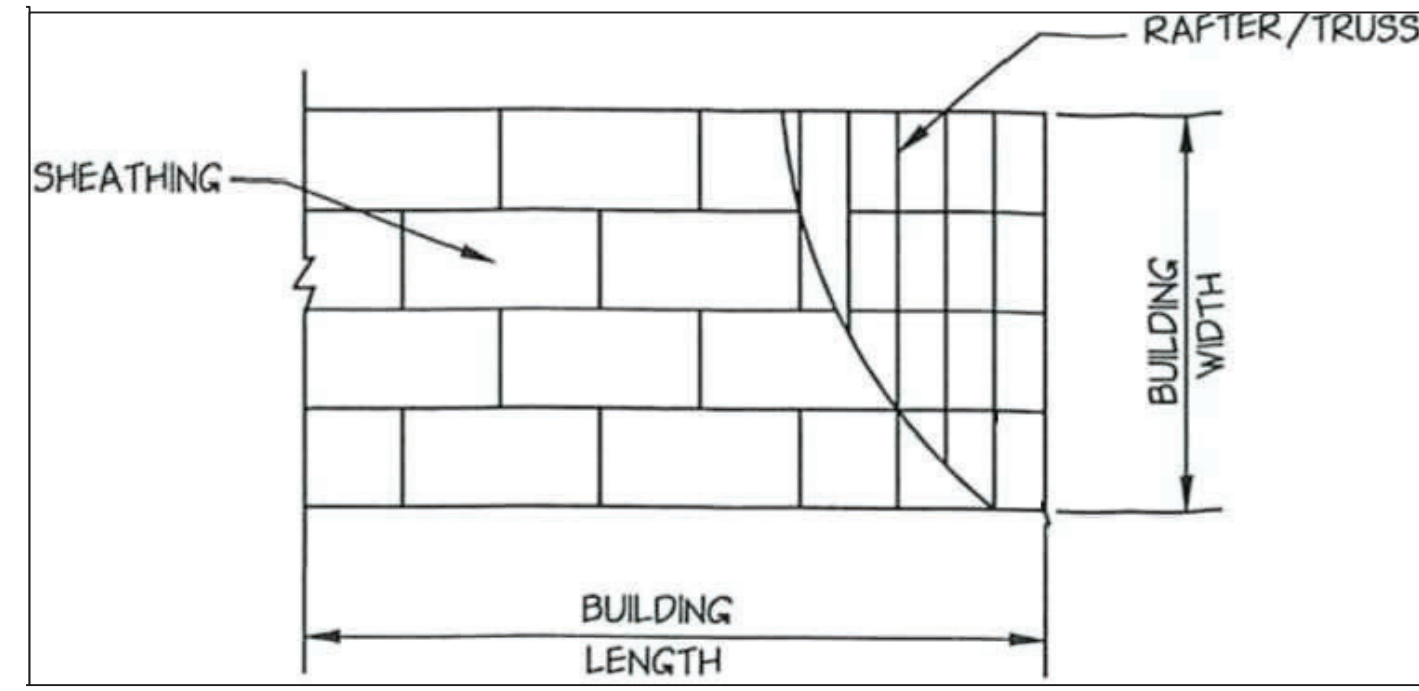
Simpson Strong-Tie
SP1



Simpson Strong-Tie
SP1

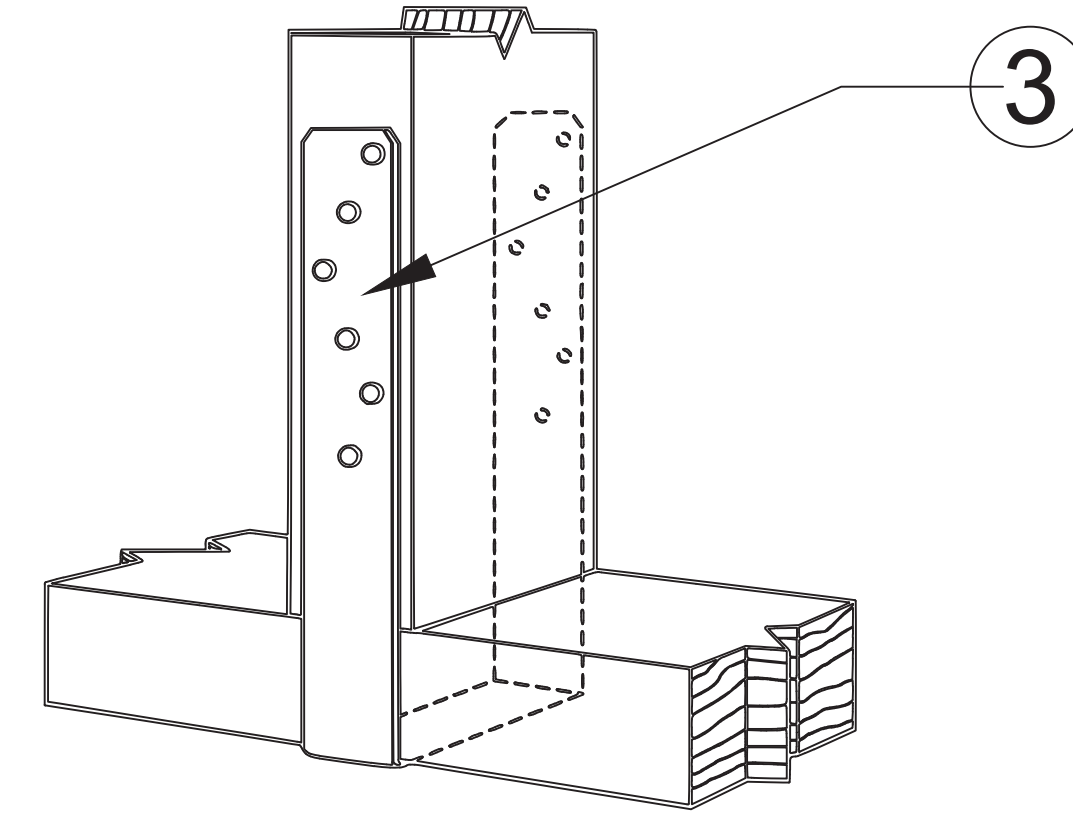
STUD-PLATE TIES 1

S2
NTS



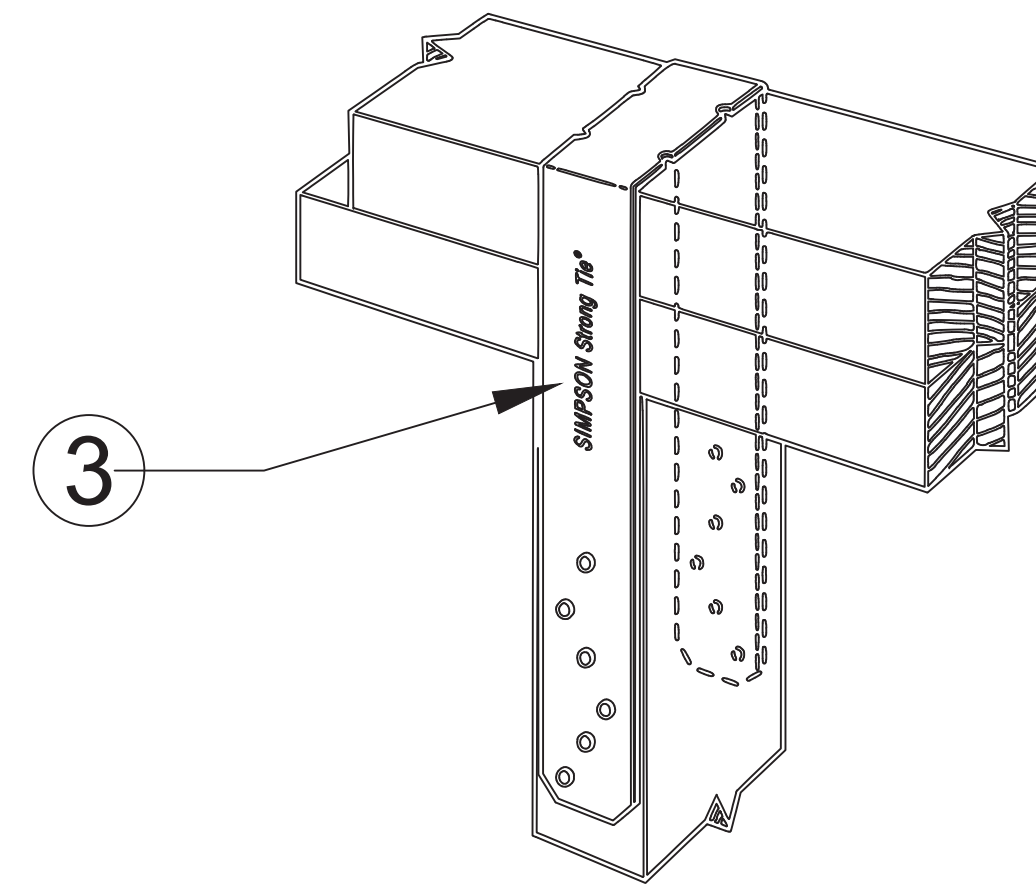
ROOF SHEATHING 2
FOR LEAN-TO METAL ROOF

S2
NTS



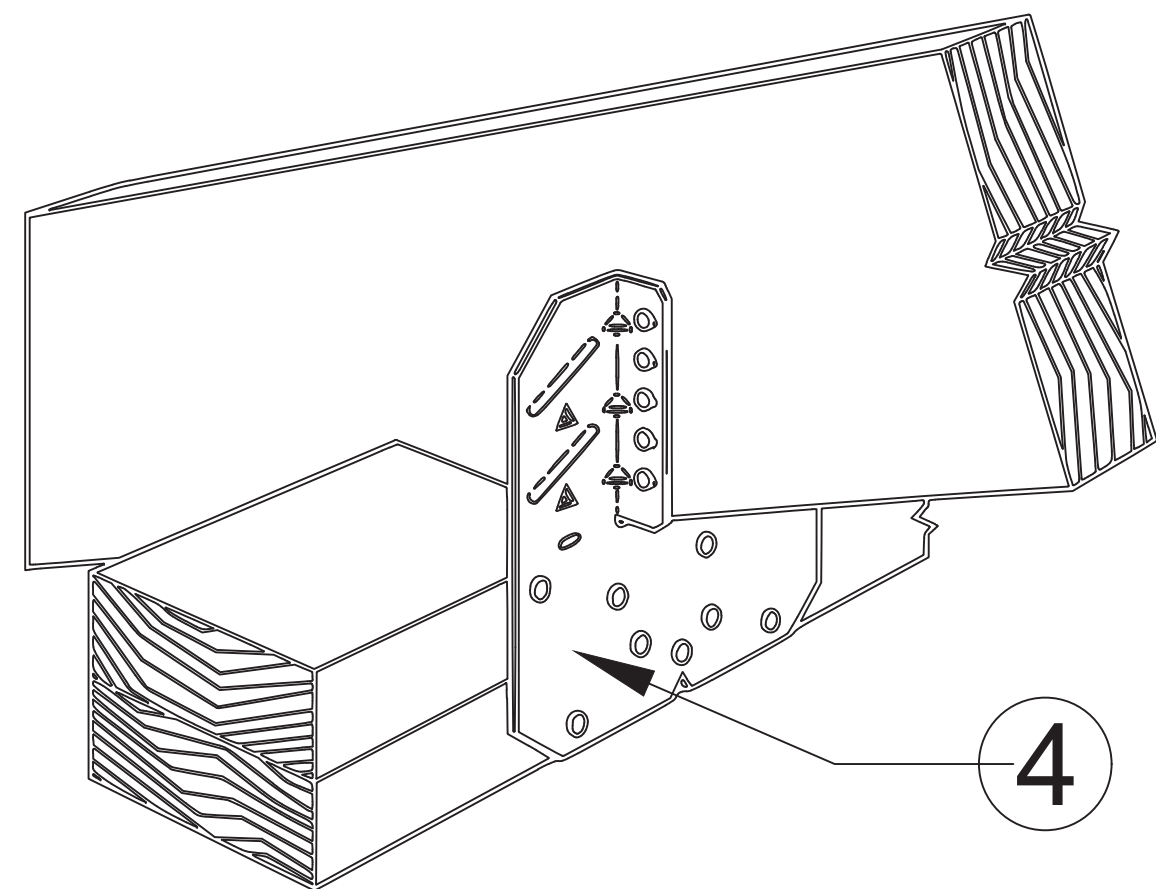
TOP PLATE ANCHORS 3
FOR USE AT BOTTOM PLATE

S2
NTS



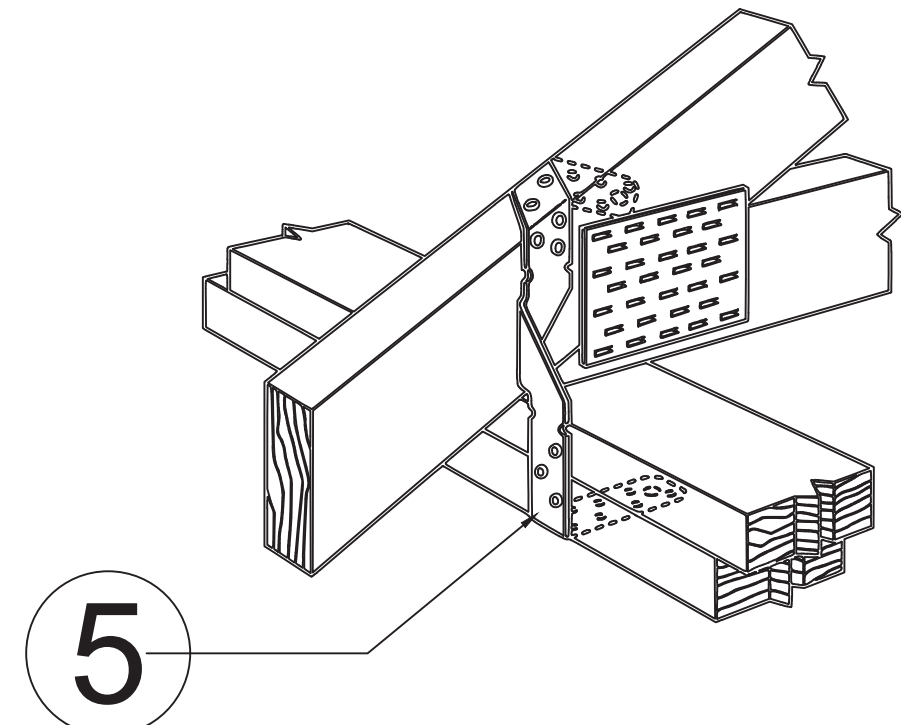
TOP PLATE ANCHOR 3

S2
NTS



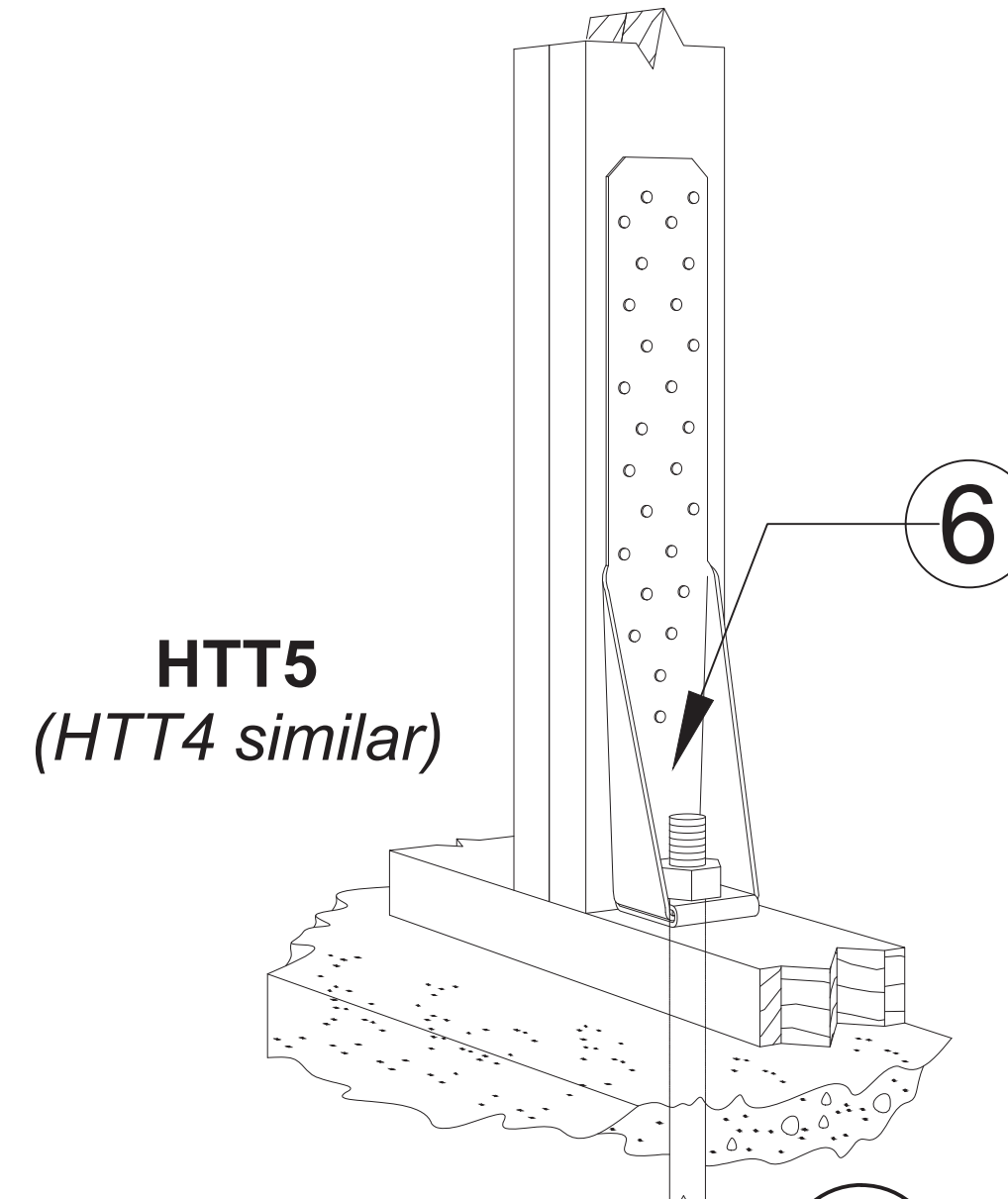
HURRICANE TIE (CLIP) 4
@ EXTERIOR WALL

S2
NTS



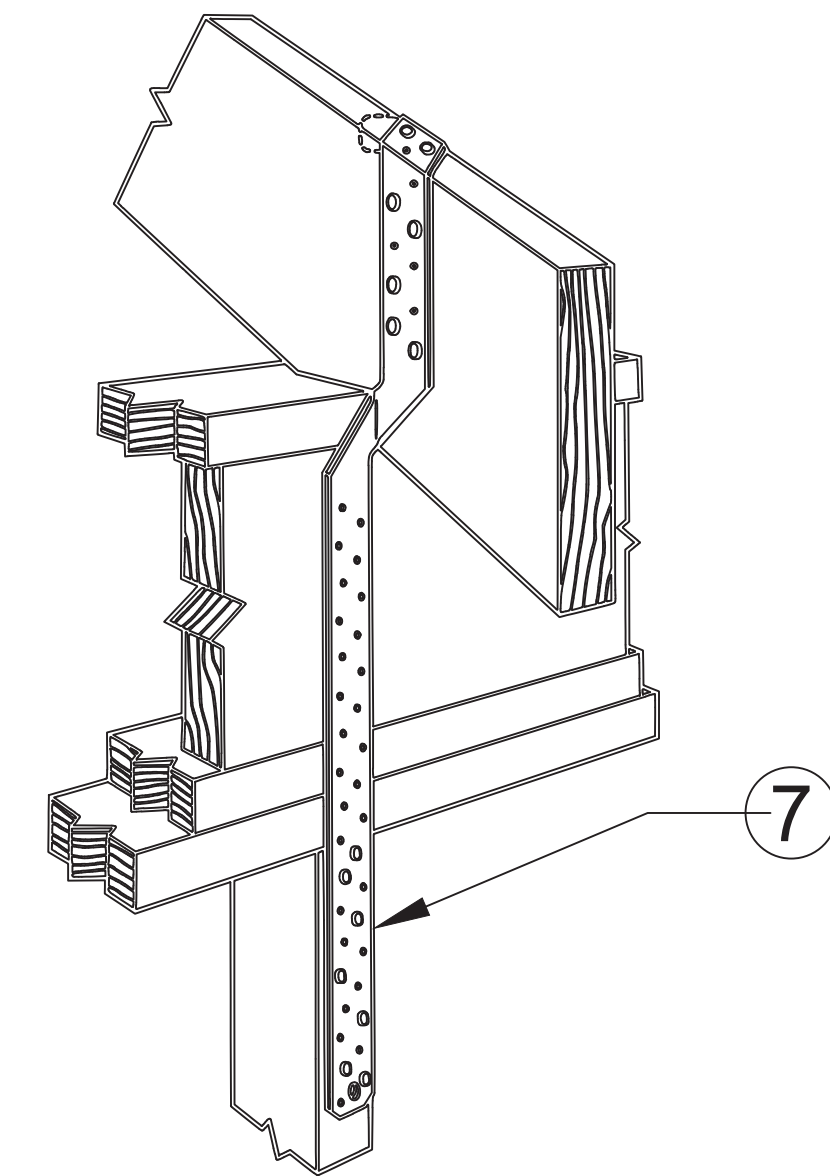
HEAVY TWIST STRAP 30" 5

S2
NTS



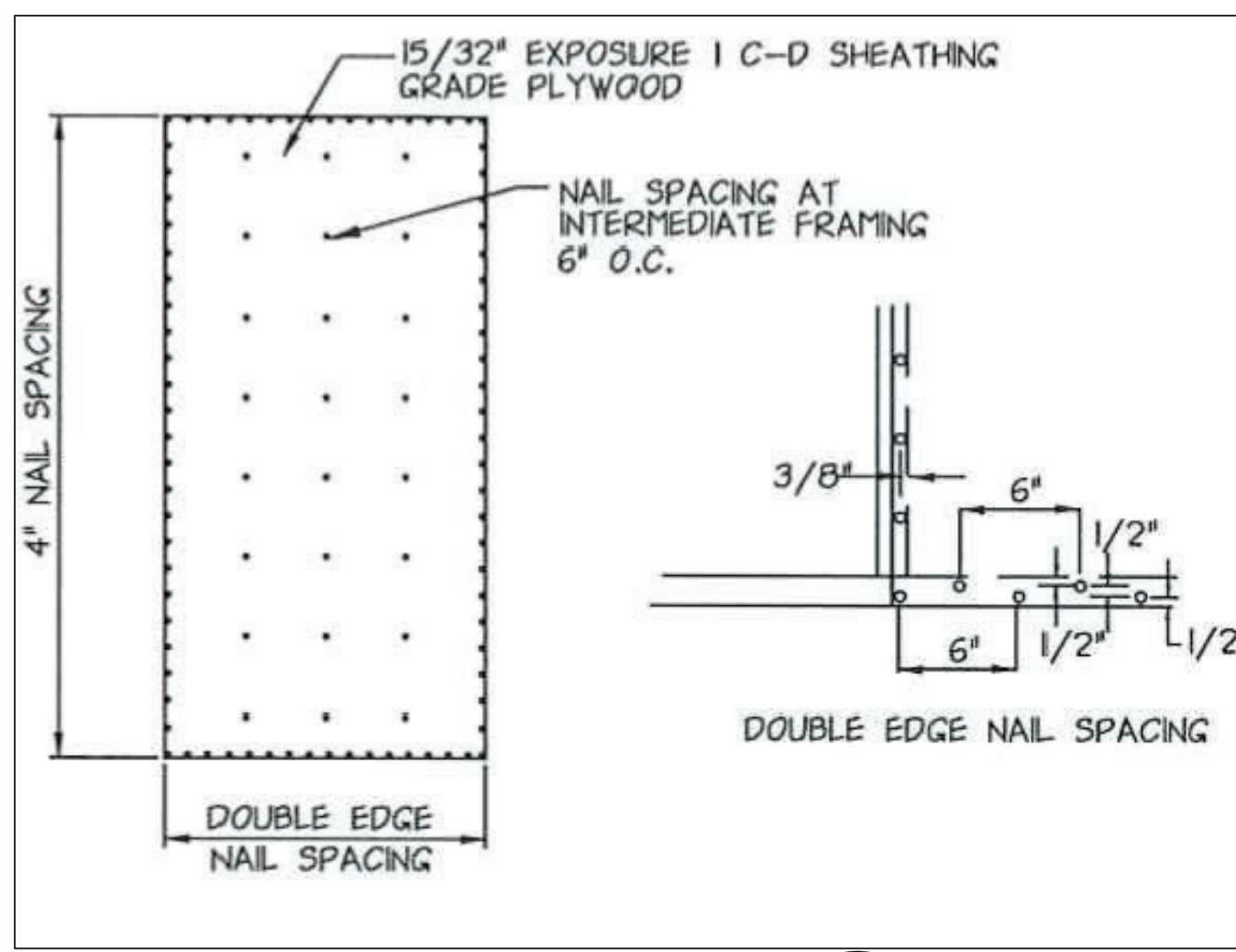
SLAB ON GRADE FOOTING 6
F/ WOOD FRAMED EXT. WALLS

S2
NTS



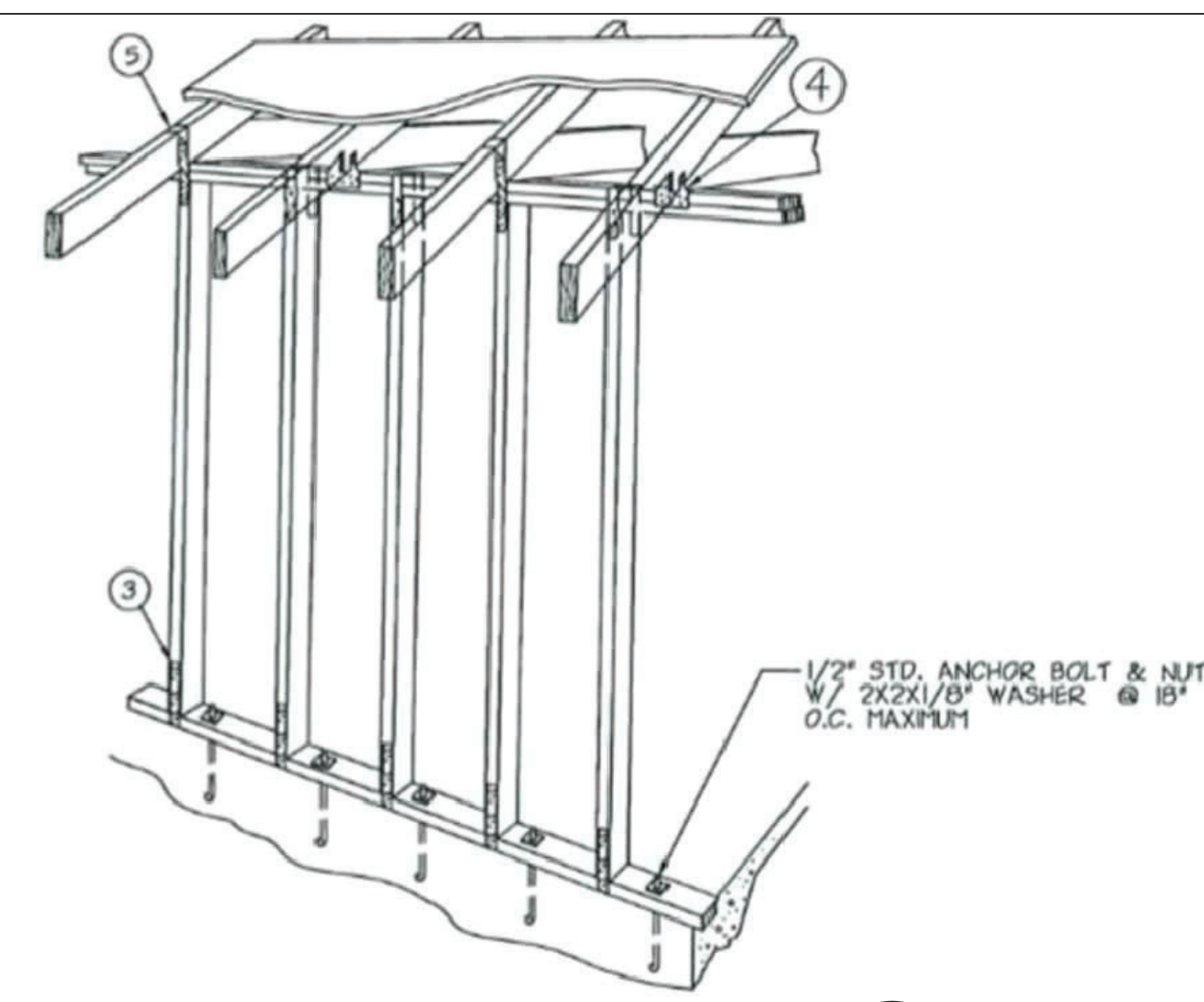
MEDIUM STRAP TIE 7

S2
NTS



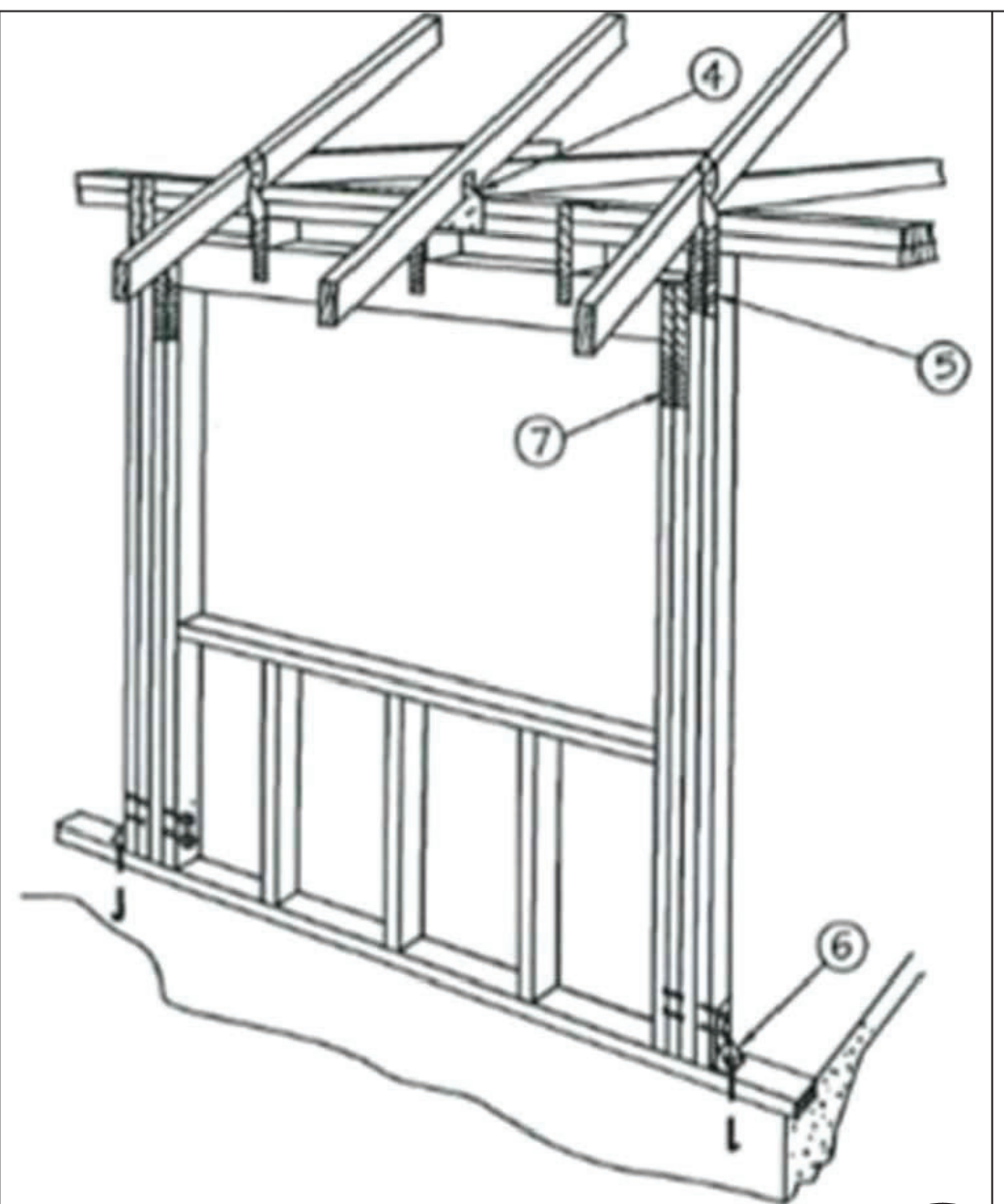
WOOD EXTERIOR WALL 8
PANEL ATTACHMENT

S2
NTS



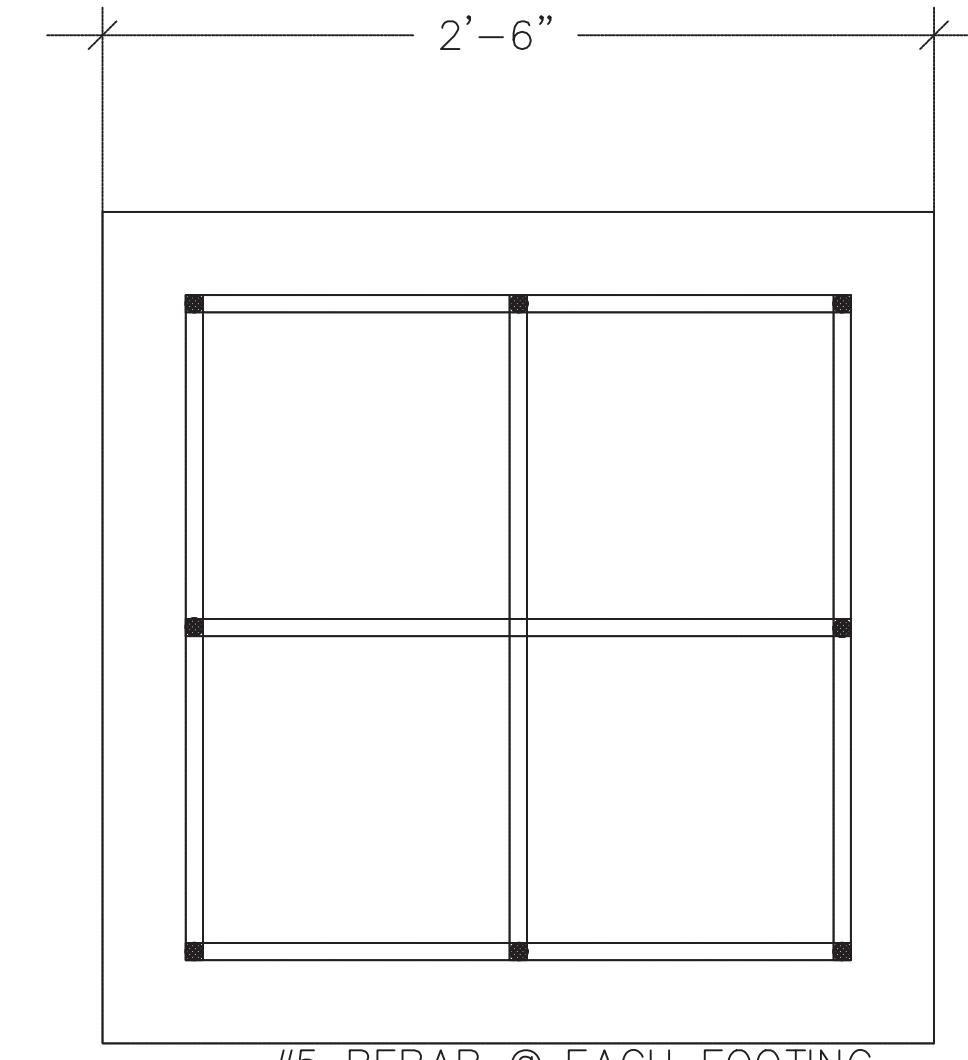
TYPICAL EXTERIOR WOOD FRAME 9
WALL CONNECTIONS & STRAPPING

S2
NTS



TYPICAL HEADER & CONNECTIONS 10
FOR OPENINGS AT EXTERIOR WALLS

S2
NTS



FOOTING & FOUNDATION 11
CORNER DETAIL

S2
NTS



ROBERT T. HAUG P.E.
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SITE BUILT LEAN-TO SHED
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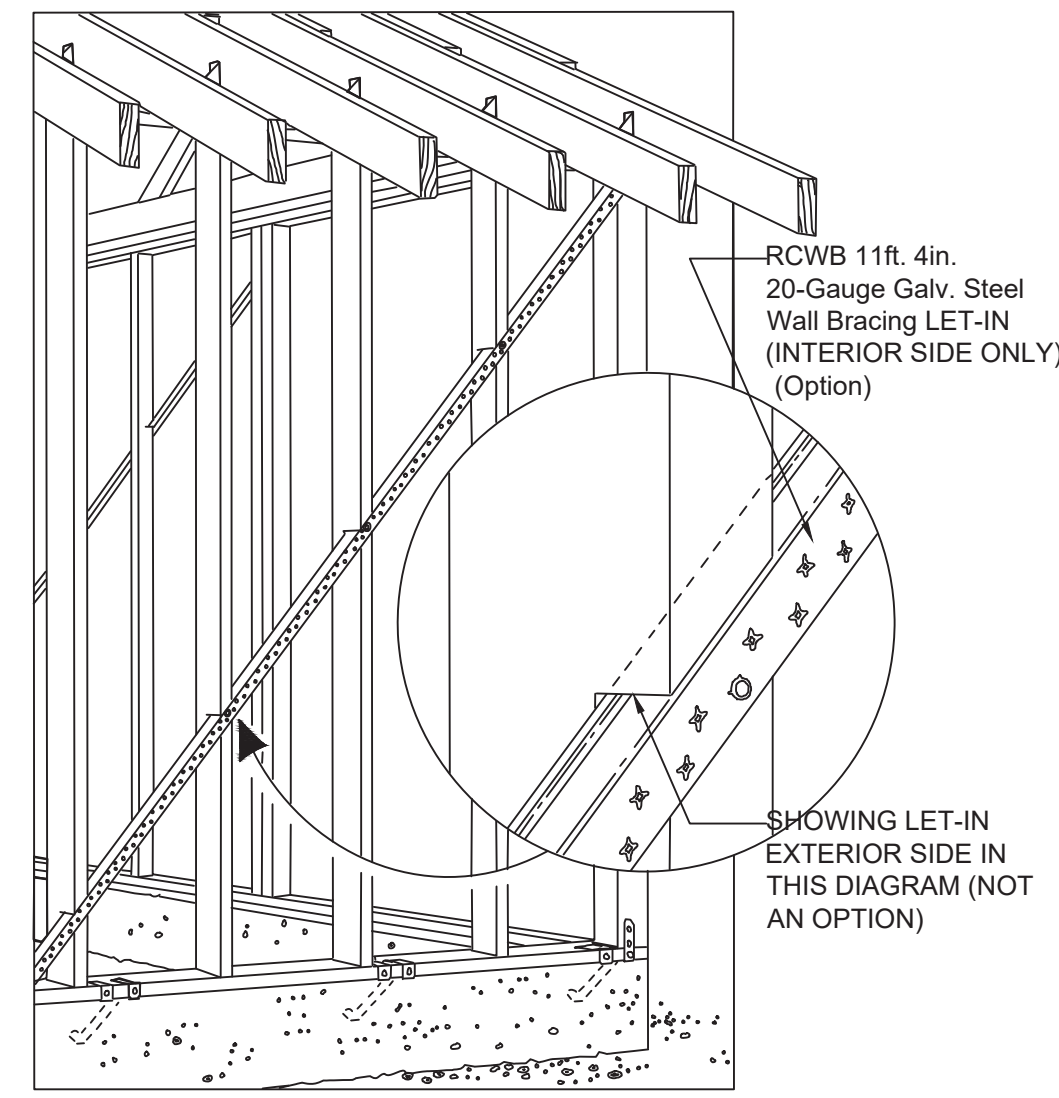
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PROJECT No: 060225.003

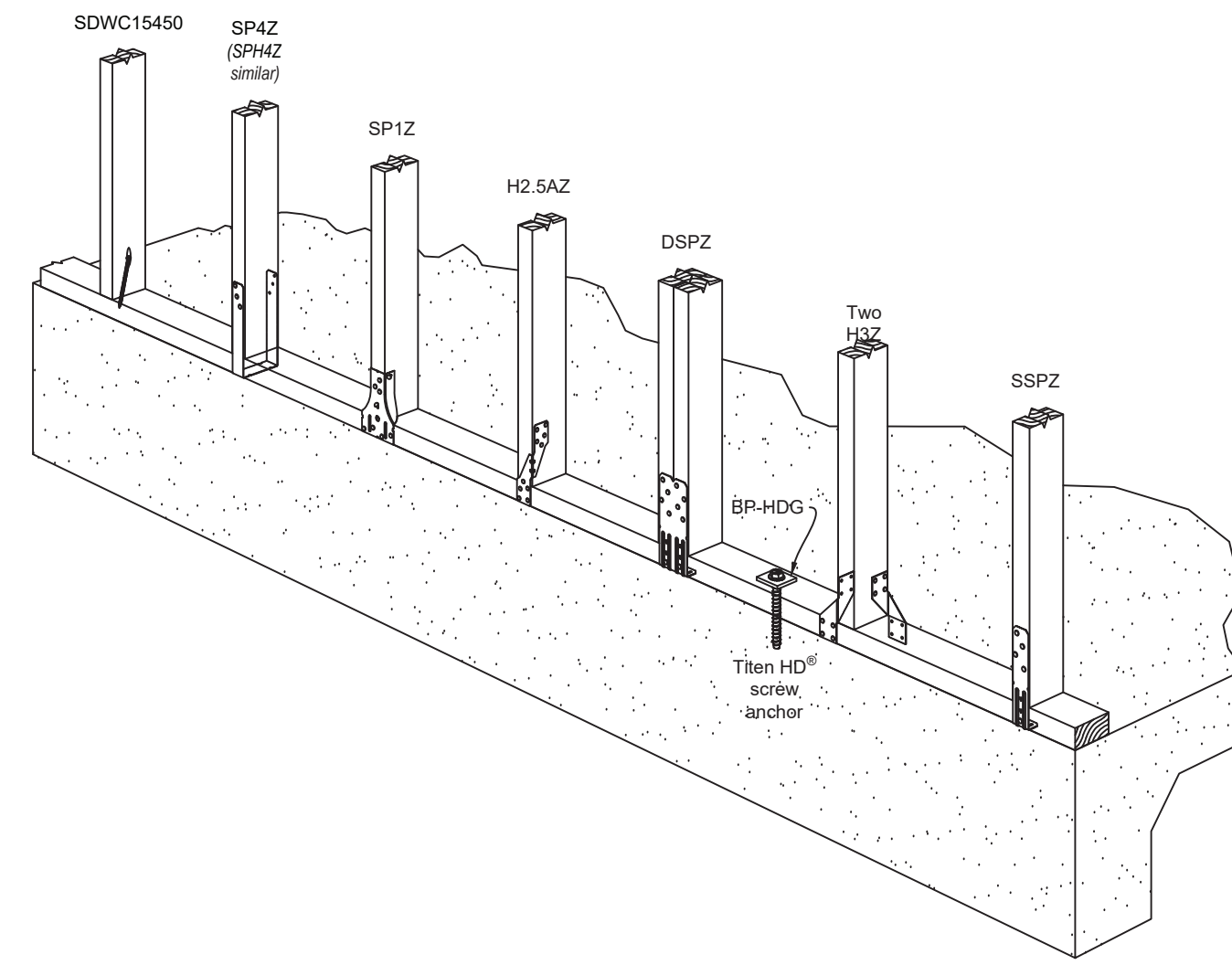
DATE: June 02, 2025

DETAILS

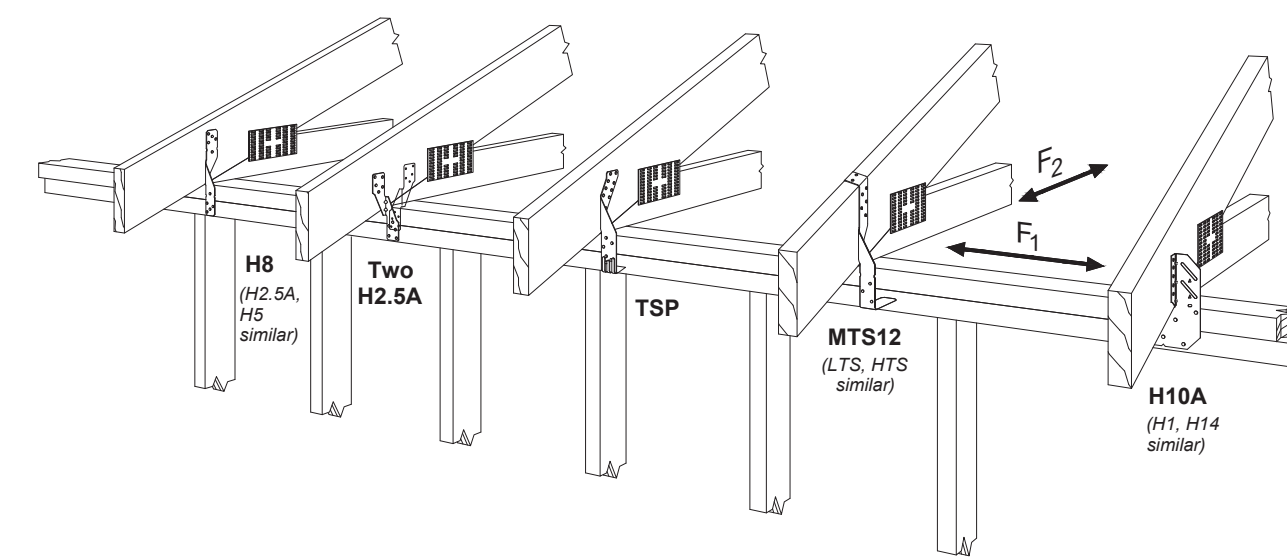
SHEET NO:
S2



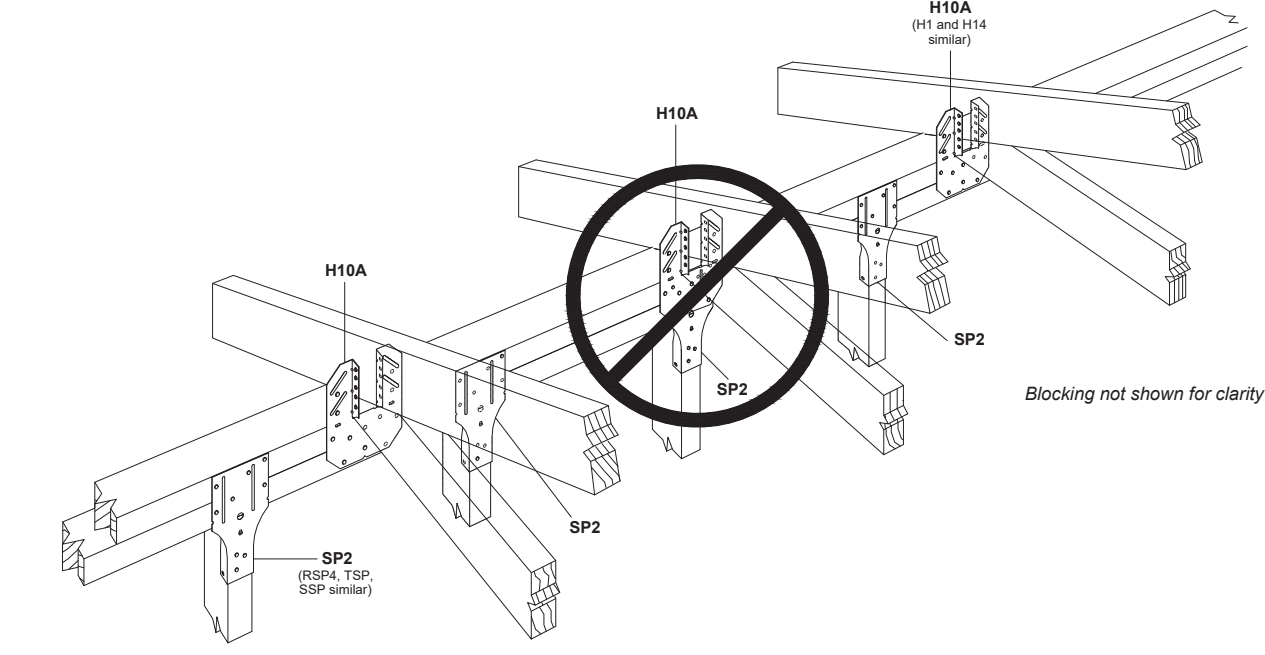
RCWB STEEL WALL BRACING 1
OPTIONAL S3
NTS



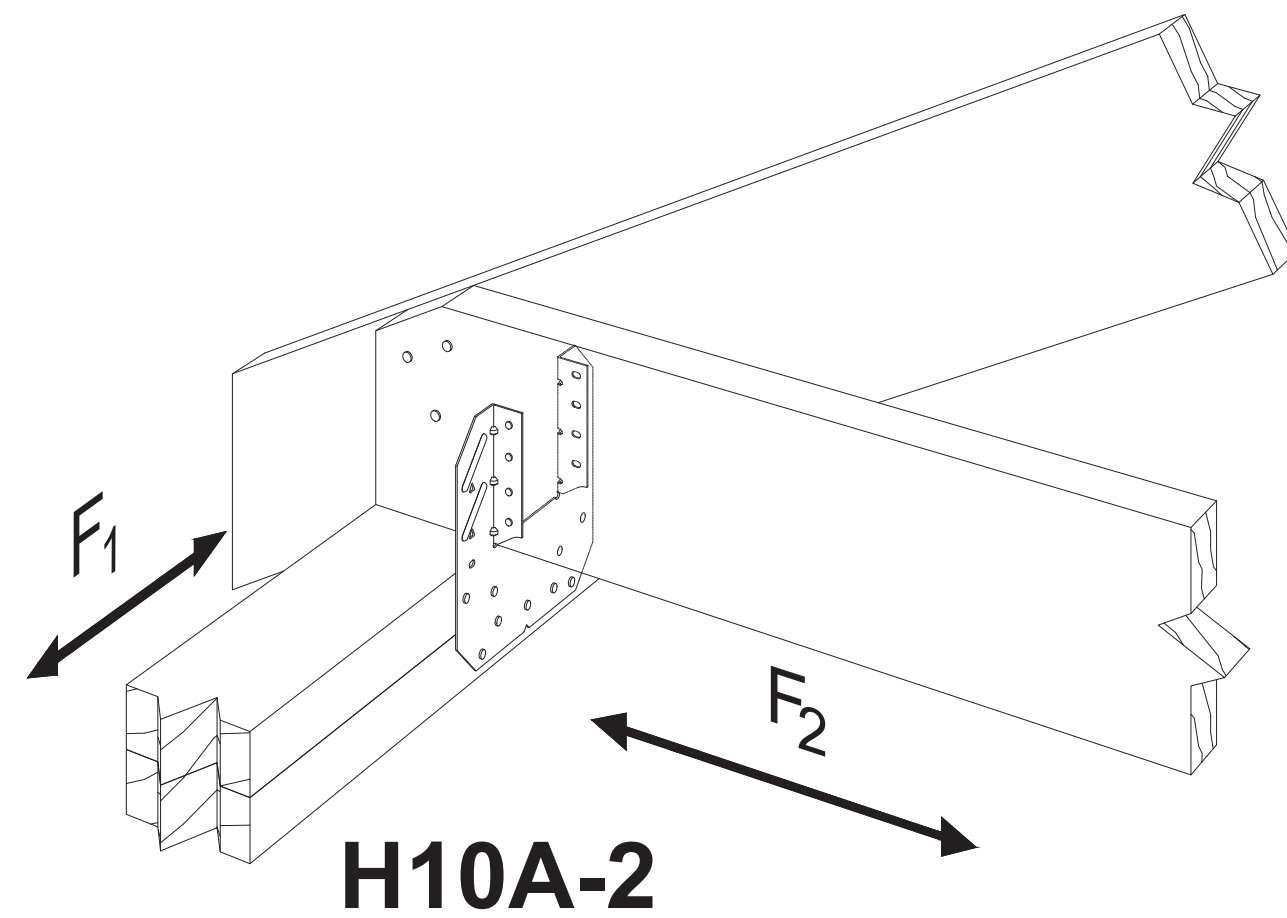
SPH4 STUD PLATE TIE HEAVY 2
OPTIONAL S3
NTS



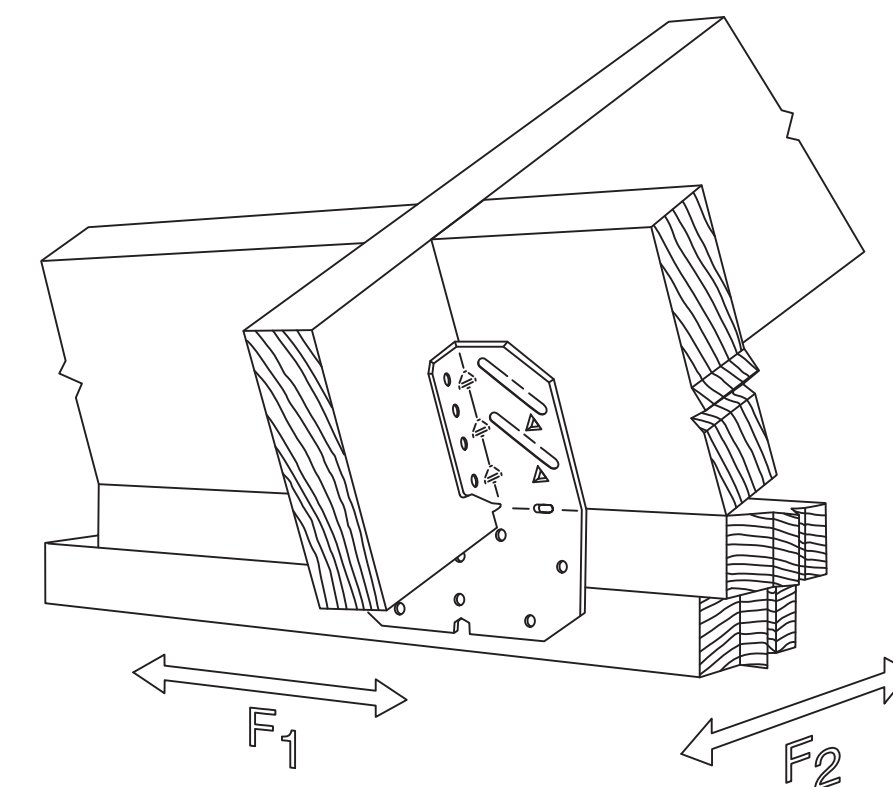
H10A HURRICANE TIE (CLIP) 3
OPTIONAL S3
NTS



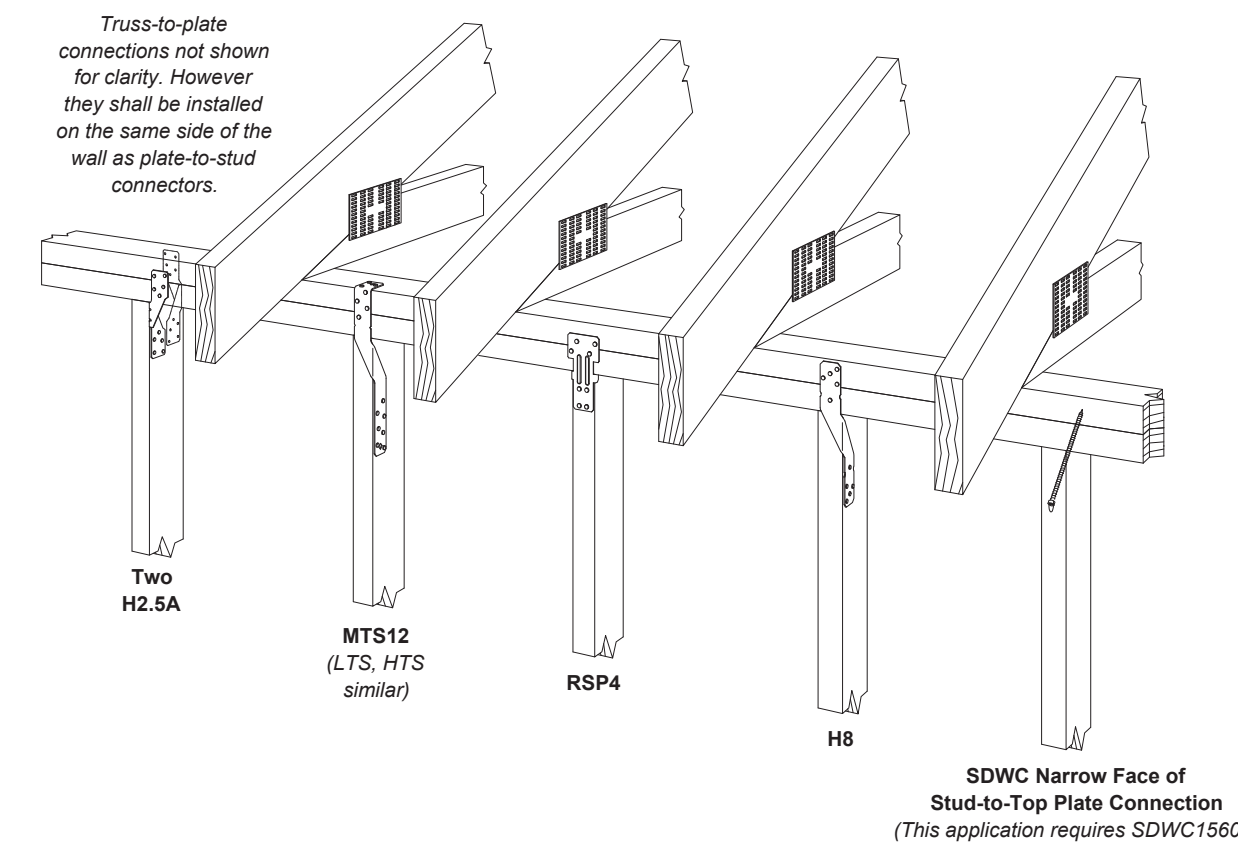
H10A HURRICANE TIE (CLIP) 4
OPTIONAL S3
NTS



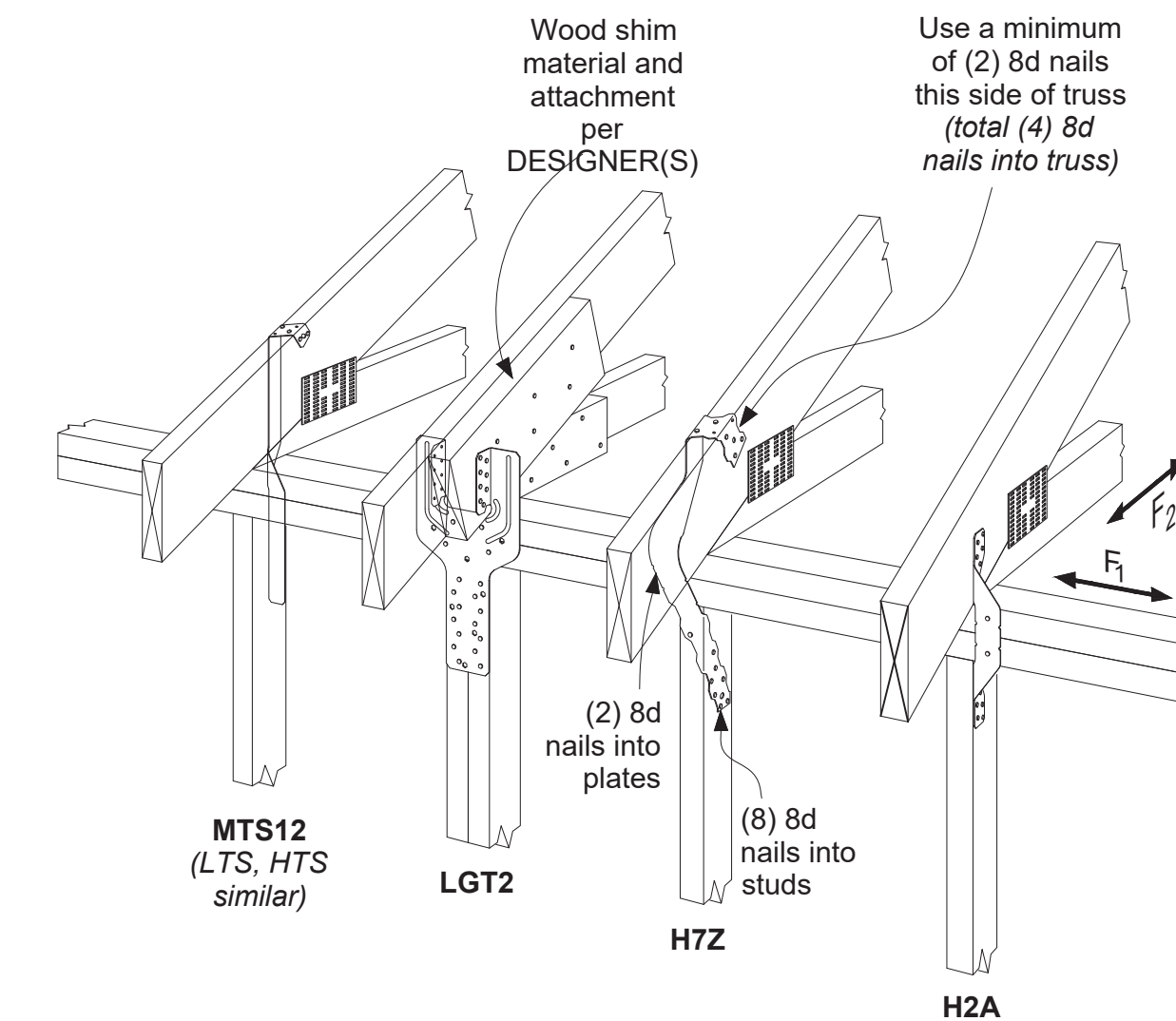
H10A HURRICANE TIE (CLIP) 5
OPTIONAL S3
NTS



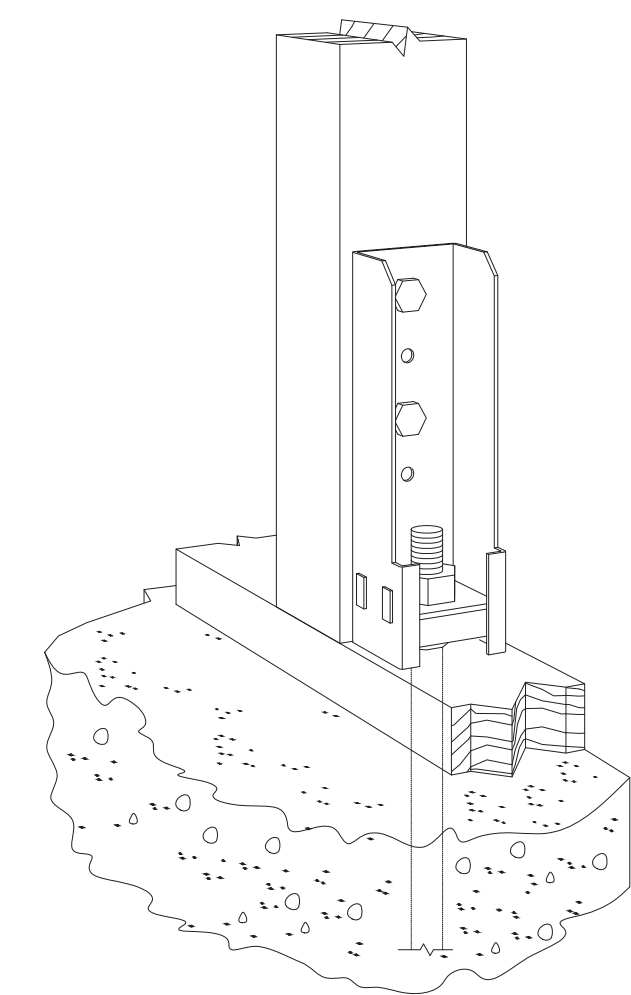
H10A HURRICANE TIE (CLIP) 6
OPTIONAL S3
NTS



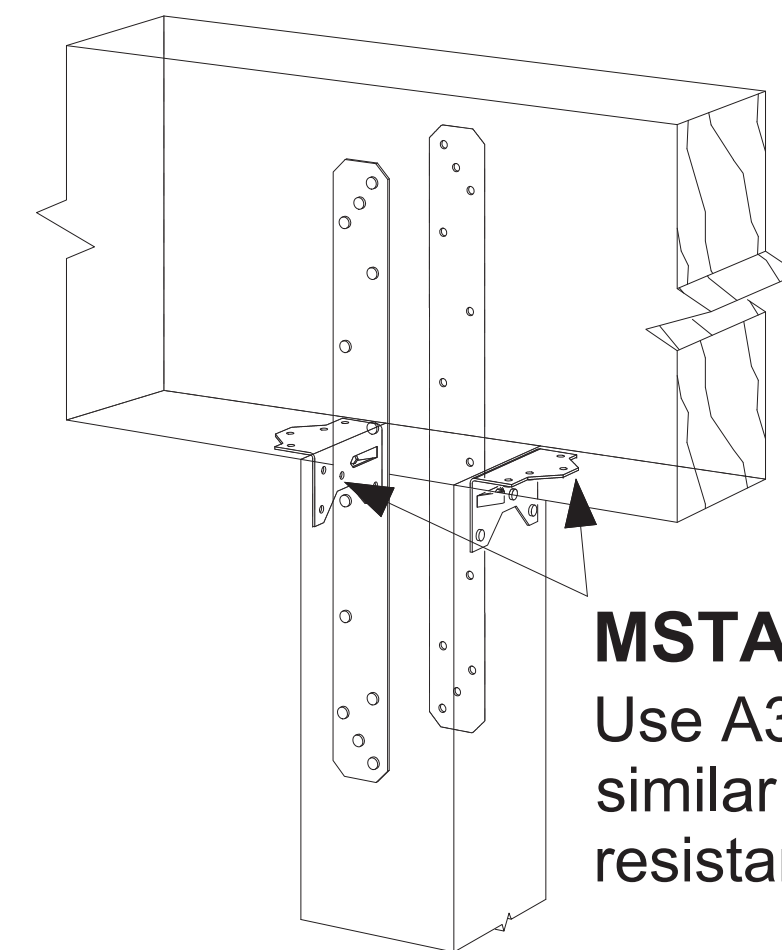
HTS24 HEAVY TWIST STRAP 7
OPTIONAL S3
NTS



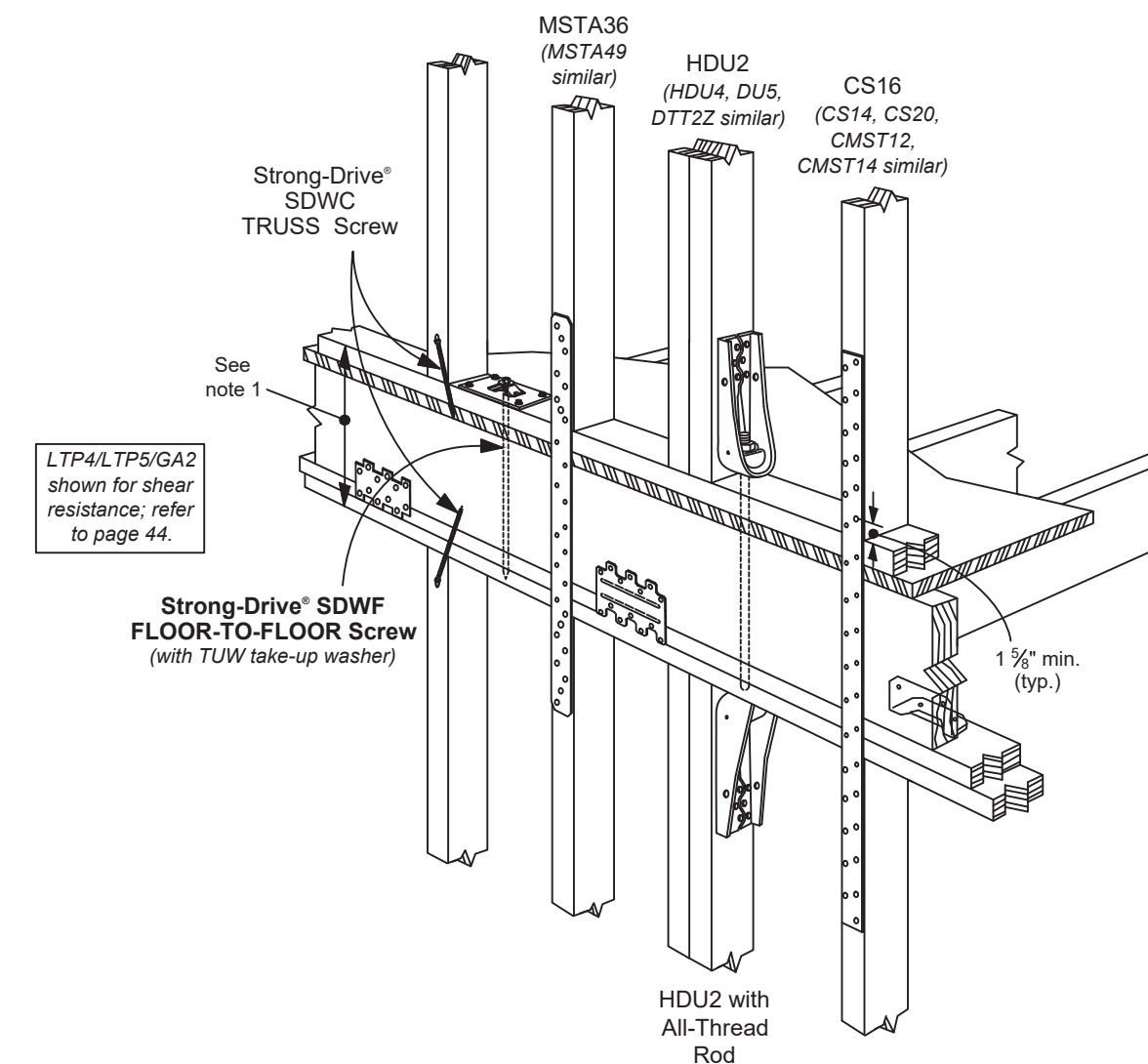
HTS24 HEAVY TWIST STRAP 8
OPTIONAL S3
NTS



HD5B (HD7B, HD9B similar)
HD5B BOLTED HOLD-DOWN 9
OPTIONAL S3
NTS



MSTA24 MEDIUM STRAP TIE 10
OPTIONAL S3
NTS



MSTA24 MEDIUM STRAP TIE 11
OPTIONAL S3
NTS

GENERAL NOTES

1. ALL SITE INSTALLED ITEMS REQUIRE LOCAL JURISDICTION APPROVAL.
2. ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE CODE REFERENCED BELOW.
3. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. ALL LOAD BEARING FRAMING SHALL BE SOUTHERN YELLOW PINE GRADE #2 WITH MOISTURE CONTENT OF 12%-15% UNLESS NOTED OTHERWISE.
5. ALL FRAMING SKIDS, GIRDERS, FLOOR JOISTS & SUB-FLOOR WITHIN 18" OF GROUND, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.
6. EXPOSED WOOD USED ABOVE GRADE SHALL BE #2 S-Y PINE OR #1 S-Y PINE AND WOOD IN CONTACT WITH GROUND SHALL BE #1 S-Y PINE.
7. ALL FASTENERS USED IN EXPOSED CONDITIONS SHALL BE HOT DIPPED GALVANIZED (G185) WHERE A PARTICULAR FASTENER BRAND (IE - SIMPSON STRONG TIE) IS CALLED OUT, LIKE FASTENERS PRODUCED BY OTHER COMPANIES MAY BE SUBSTITUTED PROVIDED ALL LOAD CAPACITIES ARE EQUAL OR GREATER THAN THE LOAD CAPACITIES OF THE SPECIFIED FASTENER.
8. ALL EXTERIOR WALLS SHALL BE COVERED WITH #24 CORRUGATED ALUMINUM PANELS, T-11 SIDING, 3/8" WOOD SHIM SIDING (OR VINYL SIDING W/ TYVEK WRAP ON 1/16" PLYWOOD SHEATHING) FASTENED WITH #10 X 1-1/2" SCREWS AT 6" O.C. EDGES 10" O.C. IN THE FIELD FOR ZONES 4 & 5, PANELS SHALL BE ATTACHED ALONG ALL FOUR EDGES WITH THE JOINTS OCCURRING OVER COMMON FRAMING MEMBERS OR SOLID BLOCKING.

CAD
concept architectural designs
PO Box 280342
Memphis, Tennessee 38168
P: 901-654-7563
https://trnysr.com/mtsp4fc05
BUILDING DESIGN

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1619 E. LAWTON LANE LAKELAND,
FLORIDA 33803 PH: 863-687-4225
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REVISIONS

SITE BUILT LEAN-TO SHED
7747 NATURE TRAIL
LAKELAND, FLORIDA
33803

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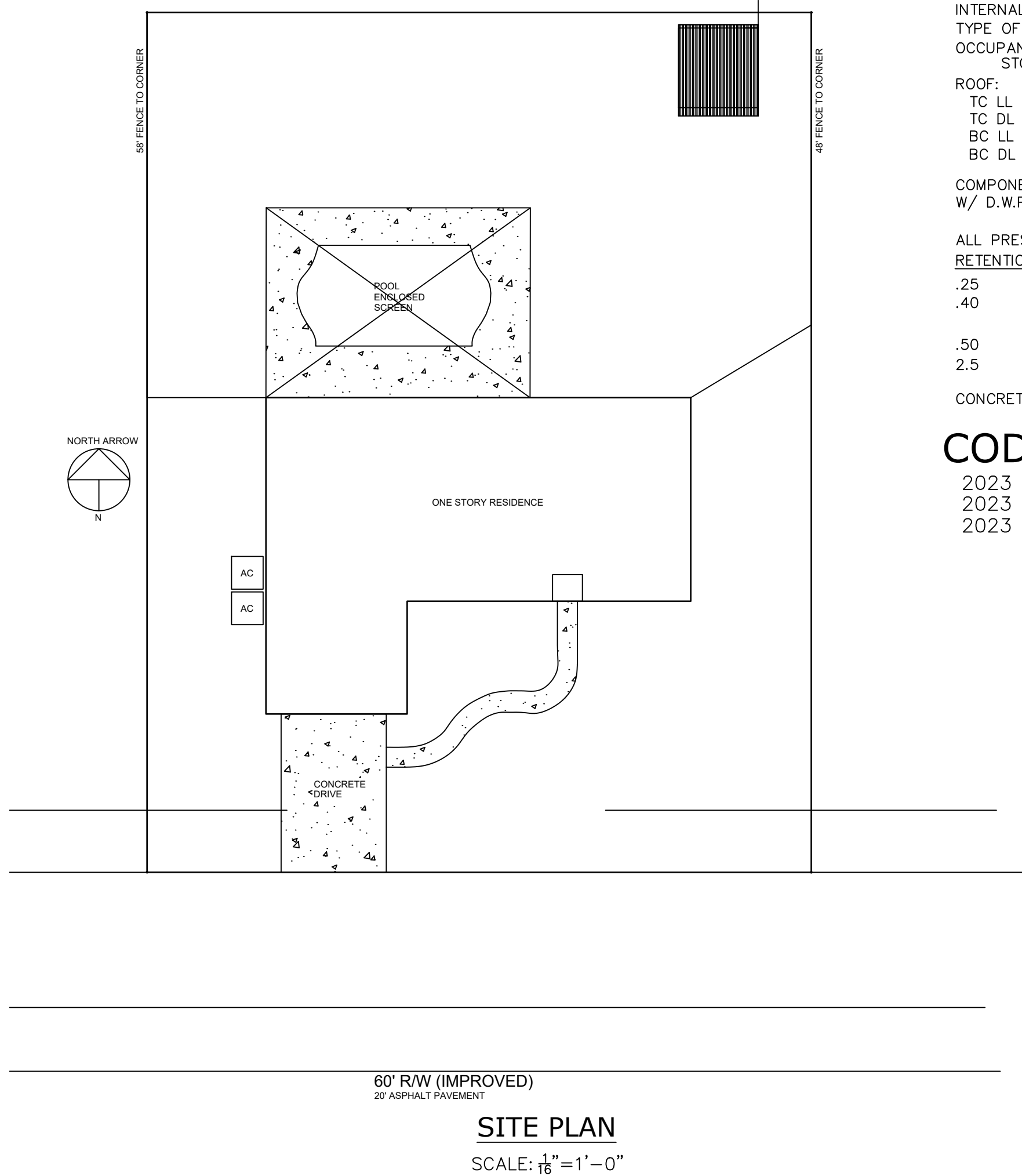
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SCOPE AND CONTRACT REQUIREMENTS. DO
NOT SEPARATE THIS SET OF DRAWINGS INTO
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PROJECT No: 060225.003
DATE: June 02, 2025
DETAILS OPTIONS
...
SHEET NO:
S3

PROJECT INFORMATION

NEW STORAGE SHED ADDITION



GENERAL NOTES

- THIS COVER SHEET AND ADDITIONAL ACCOMPANYING ATTACHMENT SHEETS REPRESENT MINIMUM DESIGN REQUIREMENTS FOR CONSTRUCTION OF THE ATTACHED SEALED PLANS IN ACCORDANCE WITH ASCE 7-22, FOR WIND PRESSURES SITED ON BUILDINGS IN THE ULTIMATE 150 MPH WIND ZONE (NOMINAL WIND SPEED 116 MPH) & NEC 2020.
- THE RAISED SEAL SET (OR ELECTRONICS SEALED SET) OF PLANS ARE ON FILE IN THE THIRD PARTY AGENCY'S OFFICE AS DIRECTED BY THE DBPR.
- THIS BUILDING HAS NOT BEEN DESIGNED OR APPROVED FOR PLACEMENT IN HIGH VELOCITY HURRICANE ZONES (HVHZ).
- THE OWNER/CONTRACTOR SHALL VERIFY ALL PRODUCT AVAILABILITY, DIMENSIONS, SITE CONDITIONS, AND EQUIPMENT REQUIREMENTS BEFORE COMMENCING ANY WORK. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUY'S, OR TIE-DOWNS.
- DESIGN LOADS
THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2023 FLORIDA BUILDING CODE, RESIDENTIAL.
- THE MANUFACTURER'S DATA SHEET AND THE STATE (DBPR) INSIGNIA SHALL BE PERMANENTLY MOUNTED TO OR ABOUT THE ELECTRICAL PANEL.
- THIS STRUCTURE HAS BEEN DESIGNED FOR ERECTION OR INSTALLATION ON A SITE BUILT PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERRECTED OR INSTALLED. FOUNDATION SHALL ONLY BE APPROVED BY THE LOCAL BUILDING OFFICIAL.
- ALL SITE RELATED WORK SUCH AS, BUT NOT LIMITED TO, FOUNDATION, TIE DOWN AND ELECTRICAL SERVICE SHALL BE BY OTHERS AND AS PER THE AHJ. NO ELECTRICAL, PLUMBING OR HVAC WORK IS INCLUDED IN THIS SHELL DESIGN
- SITE ENVIRONMENTAL STUDIES, IF REQUIRED, ARE TO BE PERFORMED BY OTHERS.
- PRODUCT/MATERIAL SUBSTITUTION IS PERMITTED IF THE SUBSTITUTE IS EQUAL OR GREATER THAN THE SPECIFIED PRODUCT. TESTING DATA AND/OR VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL REQUIRED PRODUCTS SHALL MEET FLORIDA PRODUCT APPROVAL RULE 61G20-3.006 (FAC)
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. DO NOT SCALE THE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THIS BUILDING IS SUBJECT TO REVIEW AND APPROVAL OF THE FIRE INSPECTOR ON SITE WITH COMPLIANCE WITH CH. 633 FIRE SAFETY CODE.
- ITEMS TO BE SITE INSTALLED AND SUBJECT TO LOCAL CODE REVIEW AND COMPLIANCE.

DESIGN CRITERIA:

DESIGN CONFORMS W/2023 FLORIDA BUILDING CODE, BUILDING, 8th EDITION.
DESIGNED FOR: 150 MPH 3 SECOND GUST WIND FORCES PER ASCE-7-10 MINIMUM
DESIGNED FOR: Vwsd 116 MPH WIND NOMINAL DESIGN FORCES
DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES.
EXPOSURE CATEGORY - B
RISK CATEGORY - II
TYPE III-B CONSTRUCTION
INTERNAL PRESSURE COEFFICIENT = ±0.18
TYPE OF OCCUPANCY = U: STORAGE
OCCUPANT LOAD PER CHAPTER 10: MEANS OF EGRESS
STORAGE: 300SF/OCCUPANT = 300SF / 300 = 1 OCCUPANTS

ROOF:
TC LL = 20PSF
TC DL = 10PSF
BC LL = 0
BC DL = 10PSF

COMPONENTS AND CLADDING TO BE INSTALLED PER MANUFACTURERS SPECS
W/ D.W.P. POS/NEG 30 PSF, CHAPTER 30 COMPONENTS/CLADDING (C&C)

ALL PRESSURE TREATED LUMBER SHALL BE AS FOLLOWS:
RETENTION (LBS/CU. FT.) USES/EXPOSURES:
.25 ABOVE GROUND
.40 GROUND CONTACT
FRESH WATER
WOOD FOUNDATION
SALT WATER
2.5
2.5

CONCRETE TO BE MIN. 1000psi. REBAR = 40,000 PSI

CODES:

2023 FLORIDA BUILDING CODE, 8th EDITION - BUILDING
2023 FLORIDA BUILDING CODE, 8th EDITION - RESIDENTIAL
2023 FLORIDA FIRE PREVENTION CODE, 8th EDITION



PROJECT DESCRIPTION:

NEW STORAGE SHED ADDITION IS A NEW CONSTRUCTION OF A BACKYARD STORAGE STRUCTURE. THE SHED WILL HOUSE AND STORE EQUIPMENT. THE BUILDING IS 7' TALL WITH A SLAB, AND IS CLASSIFIED AS ADDITION. THE EXTERIOR WALLS ARE LOAD BEARING WOOD WITH A ONLY STRUCTURE WITH CONCRETE FLOOR. THE ROOF AND FOUNDATION WILL BE TO CODE. THIS BUILDING WILL COMPLY WITH FLORIDA BUILDING CODE REQUIREMENTS.

INDEX OF DRAWINGS

PLAN SHEETS

- G-1 COVER SHEET-GENERAL-NOTES
- G-2 PROJECT INFORMATION
- A-1 FLOOR PLAN-ELEVATIONS-SECTION
- A-3 FRAMING PLAN-ELEVATIONS-DETAILS
- A-4 BUILDING SECTION-FOOTER DETAILS
- A-5 ROOF PLAN-FRAMING-DETAILS
- A-6 FOUNDATION PLAN-SECTION-DETAILS

CONTACT:

GENERAL CONTRACTOR:

7747 NATURE TRAIL
LAKELAND, FLORIDA 33803
P: 863-602-4368

ENGINEER OF RECORD:

ROBERT T. HAUG, P.E.
2320 E. EDGEWOOD DRIVE
LAKELAND, FLORIDA 33803
PHONE: 863-687-4225
FL REG NO. 24575

DESIGN COMPANY:

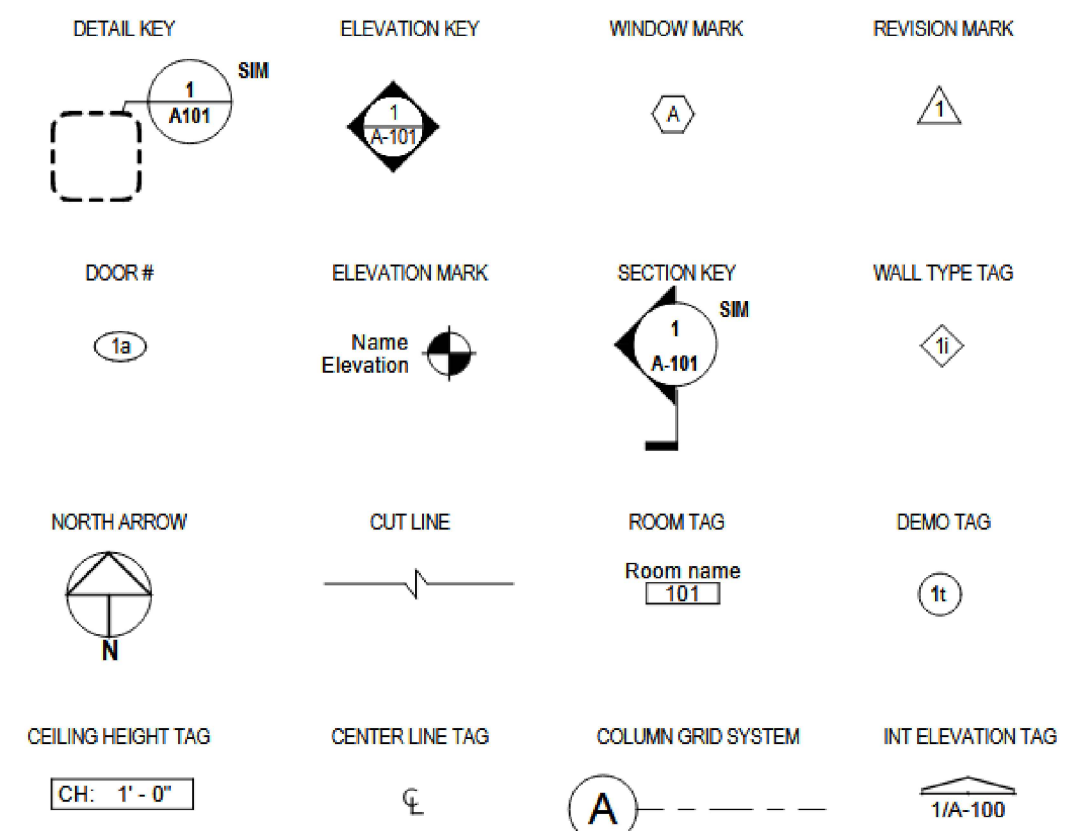
Concept Architectural Designs
PO Box 280342
Memphis, Tennessee 38168
P: 901-654-7561

PROJECT No: 060225.003

OWNER INFORMATION
7747 NATURE TRAIL
LAKELAND, FLORIDA 33803
P: 863-602-4368

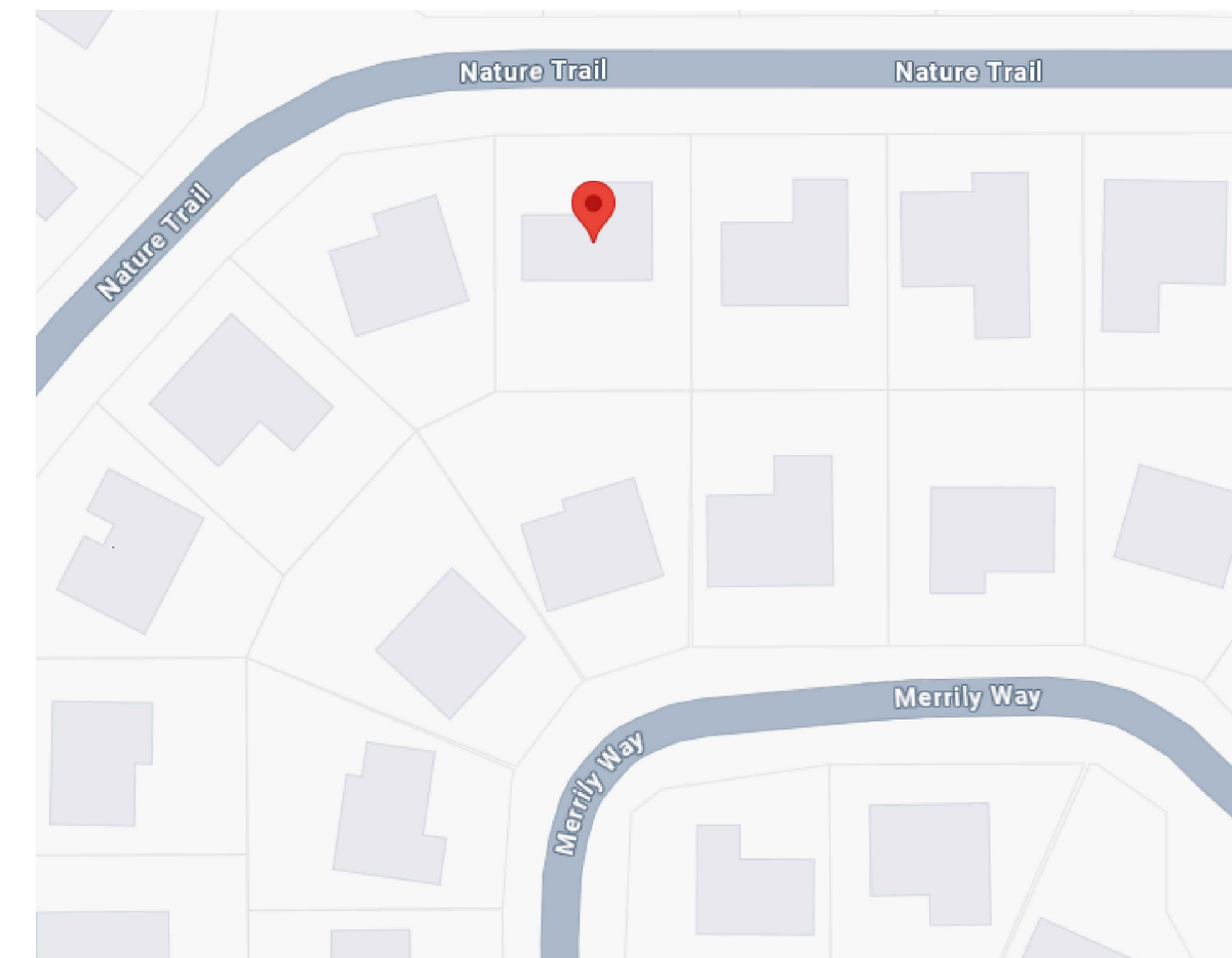
PROJECT INFORMATION

SYMBOLS LEGEND:



DRAWING TITLE
1 View Name
1/8" = 1'-0"

VICINITY MAP:



BUILDING NOTES

- THESE STRUCTURAL DRAWINGS SHALL BE USED FOR THE CONSTRUCTION OF THE SHOWN STORAGE BUILDING. IN THE EVENT OF DIMENSIONAL DISCREPANCY, NOTIFY THE ENGINEER FOR RESOLUTION OF CONFLICT. ANY DEVIATION FROM THESE DRAWINGS MUST BE APPROVED BY THE ENGINEER.
- THIS IS TO CERTIFY THAT THE WOOD FRAME STORAGE BUILDING AS SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE, RESIDENTIAL WITH ALL REVISIONS TO ASCE 7-22 FOR UP TO 150 MPH WIND VELOCITY.
- MATERIALS.
ALL VERTICAL LUMBER TO BE NO 2 GRADE SPF OR EQUIVALENT. ALL HORIZONTAL FLOOR FRAMING TO BE NO 2 GRADE SYP. ALL PLYWOOD/PLYWOOD GUSSETS SHALL CONFORM TO APA PDS-04. ALL CONNECTORS/FASTENERS (SIMPSON STRONG TIE OR APPROVED) APPLICABLE CODES, TO ASSURE SUPPORT.
* NO 2 GRADE SPF LUMBER OR EQUIVALENT IS APPLICABLE UP TO 155MPH SPEED.
- DIMENSIONS LABELED BY LETTERS VARY BY MODEL AND SIZE OF BUILDING AND SHALL BE OBTAINED FROM THE PROVIDED SCHEDULES.
- NON-STRUCTURAL DETAILS AND ITEMS MAY BE CHANGED AT OWNERS DISCRETION.
- ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED (G 185) OR STAINLESS STEEL. ALL LUMBER IN CONTACT WITH THE EARTH SHALL BE PRESSURE TREATED WITH PRESERVATIVE. EXTERIOR NON-TREATED WOOD SIDING SHALL NOT BE LESS THAN 12" FROM EXPOSED EARTH.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, CONCRETE/ANCHORING/ELECTRICAL CONNECTIONS, SHALL BE BY OTHERS.

SIMPSON CONNECTOR NOTES

- SIMPSON CONNECTIONS SPECIFIED ARE DESIGNED AND MANUFACTURED FOR THE PURPOSES SHOWN, AND SHOULD NOT BE USED WITH OTHER CONNECTORS NOT APPROVED BY THE DESIGN ENGINEER. MODIFICATIONS TO PRODUCTS OR CHANGES IN INSTALLATION PROCEDURES SHOULD NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER. THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURES IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
 - SUBSTITUTIONS FOR SIMPSON STRONG-TIE CO. INC.'S PRODUCTS SHALL BE APPROVED IF EQUAL AND APPROVED IN WRITING BY THE ENGINEER.
- INSTRUCTIONS FOR THE INSTALLER:
- ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE SIMPSON CATALOG. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16D FASTENERS ARE COMMON NAILS (18GA X 3-1/2") UNLESS OTHERWISE SPECIFIED.
 - BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
 - INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.
 - PNEUMATIC OR POWDER-ACTUATED FASTENERS MAY DEFLECT AND INJURE THE OPERATOR OR OTHERS. NAIL GUNS MAY BE USED TO INSTALL CONNECTORS, PROVIDED THE CORRECT QUANTITY AND TYPE OF NAILS ARE PROPERLY INSTALLED IN THE NAIL HOLES. GUNS WITH NAIL HOLE-LOCATING MECHANISMS SHOULD BE USED. FOLLOW THE MANUFACTURER'S INSTRUCTIONS AND USE THE APPROPRIATE SAFETY EQUIPMENT.

STRUCTURAL NOTES

STRUCTURAL DESIGN IS IN ACCORDANCE WITH FLORIDA BUILDING CODE, RESIDENTIAL 2023 8TH EDITION

CODE NOTES

Code Version	2023 FBC Residential, 8th Ed.
Building Type	STORAGE, MEETS R3 STANDARDS
Construction Type	VB
Fire Protection	N/A
Fire Suppression System	N/A
Occupancy	UTILITY
Allowable Stories	1
Wind Velocity	150 mph*
Fire Rating Exterior Walls	N/A
Max Floor Load	Live 120 psf, Dead 10 psf
Roof Load	Live 20 psf, Dead 8 psf
"R" Ratings	N/A
Modules per Building	1
Square Footage	Max 144 sqft

WIND DESIGN DATA:

WIND LOAD: ULTIMATE WIND DESIGN SPEED, 3 SEC. GUST = 150MPH
BUILDING RISK CATEGORY = I: STORAGE
OCCUPANCY CATEGORY: U
RISK CATEGORY: II
WIND INTERIOR PRESSURE COEF: .18
EXPOSURE B
SURFACE ROUGHNESS: B



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Memphis, Tennessee 38168
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https://www.conceptads.com
BUILDING DESIGN

ENGINEER OF RECORD:
ROBERT T. HAUG P.E.
CONSULTING ENGINEER
FL REG NO. 24575
2320 E. EDGEWOOD DRIVE LAKELAND,
FLORIDA 33803 PH: 863-687-4225

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NEW STORAGE SHED ADDITION
7747 NATURE TRAIL
LAKELAND, FLORIDA 33803

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PROJECT No: **060225.003**

DATE: **June 02, 2025**

COVER SHEET

SHEET NO:
G-1



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NEW STORAGE SHED ADDITION
 7747 NATURE TRAIL
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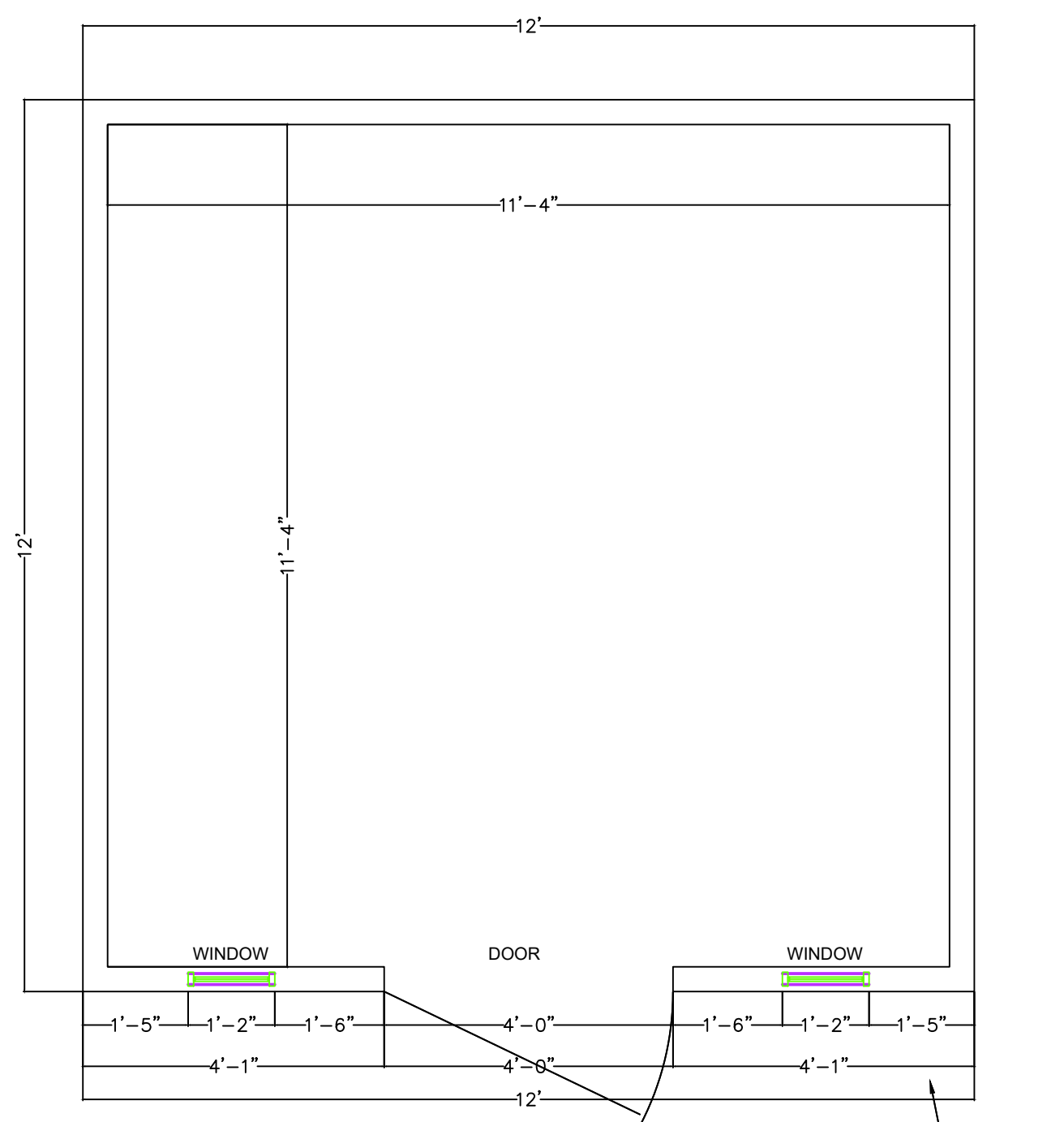
PROJECT No: 060225.003

DATE: June 02, 2025

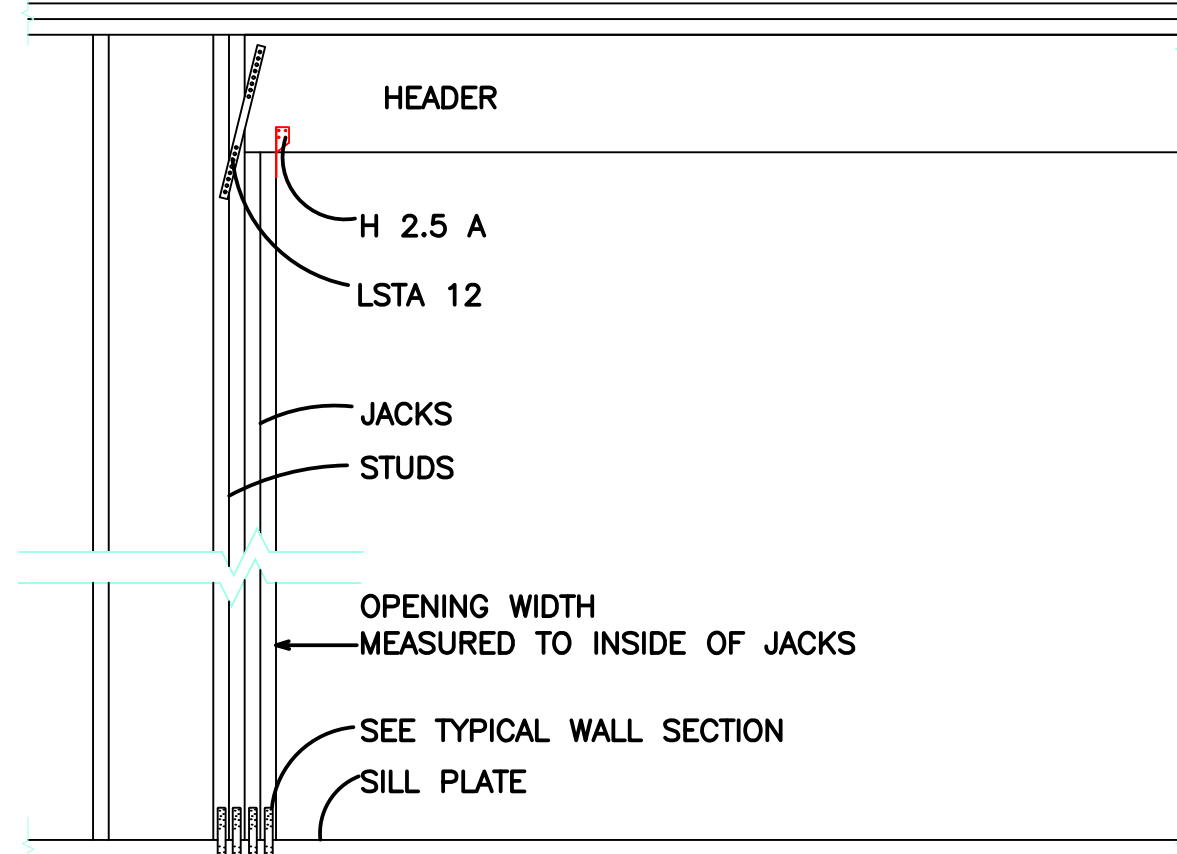
FLOOR PLAN ELEVATIONS, SECTION and DETAILS

SHEET NO: **A-1**

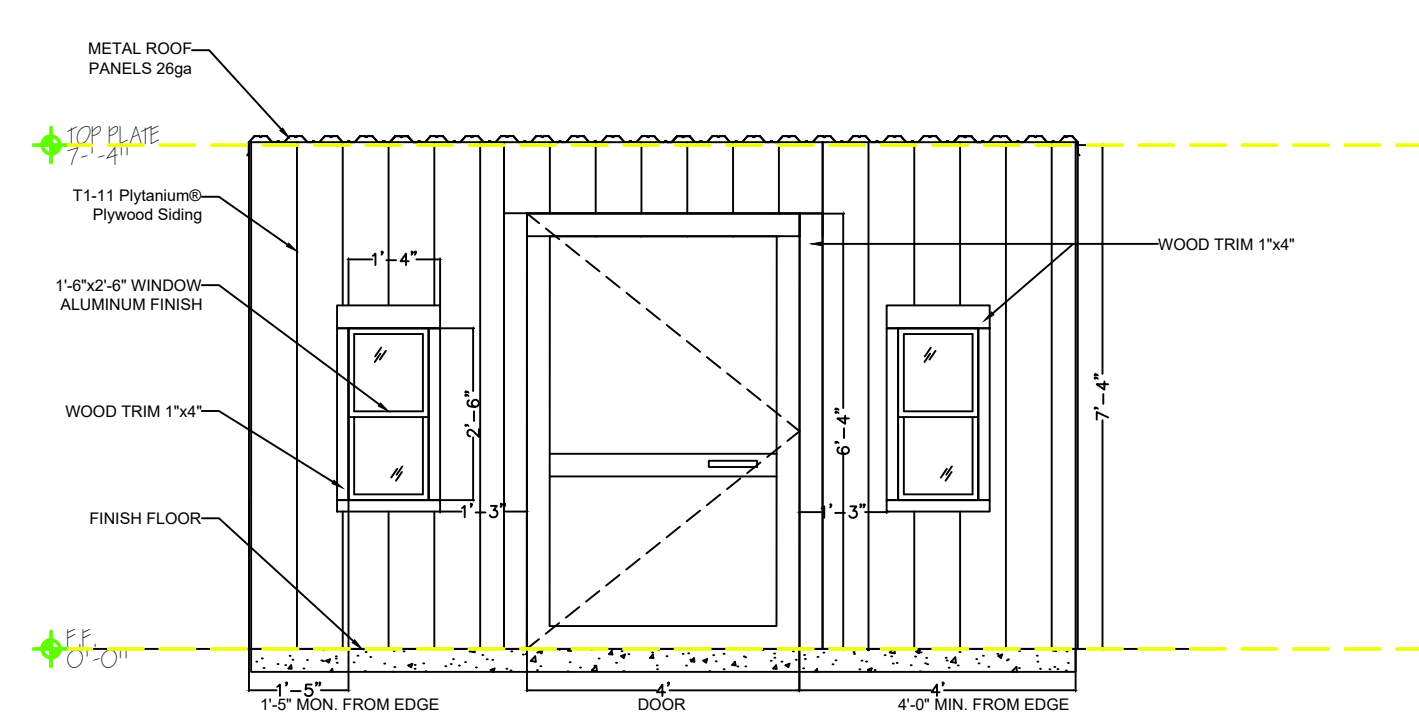
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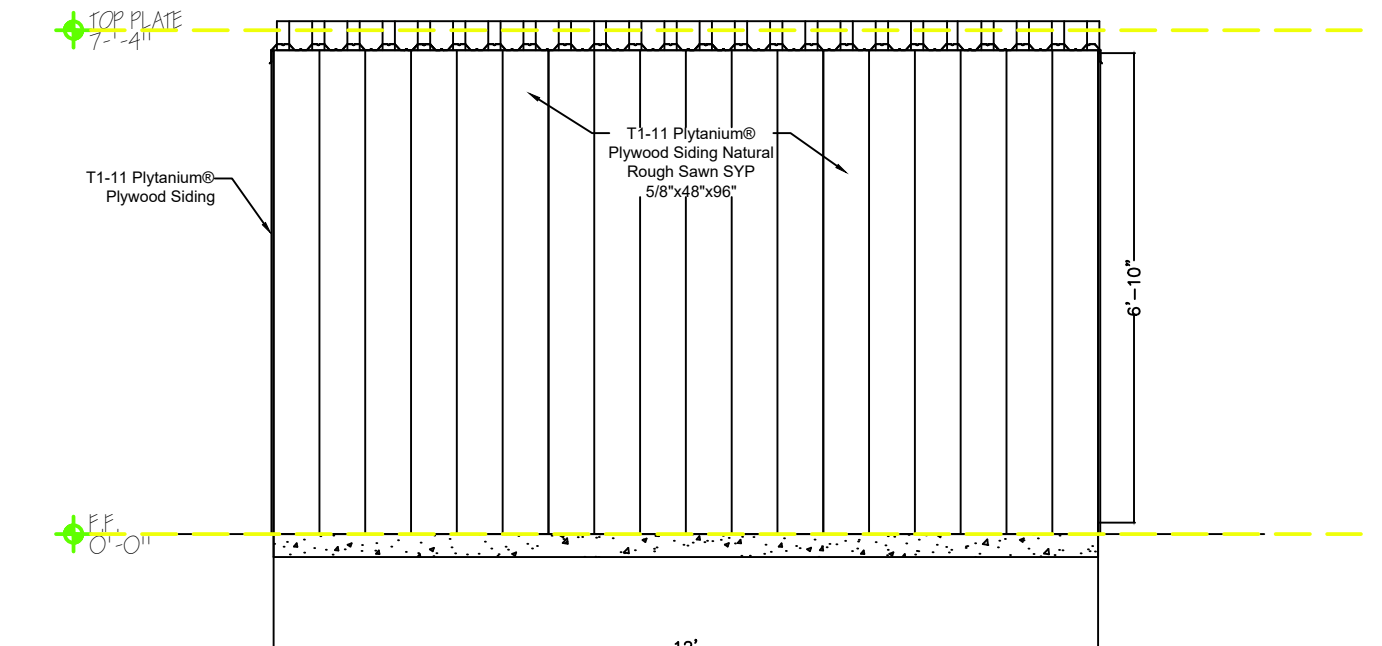
FLOOR PLAN
 SCALE: 3/8"=1'-0"



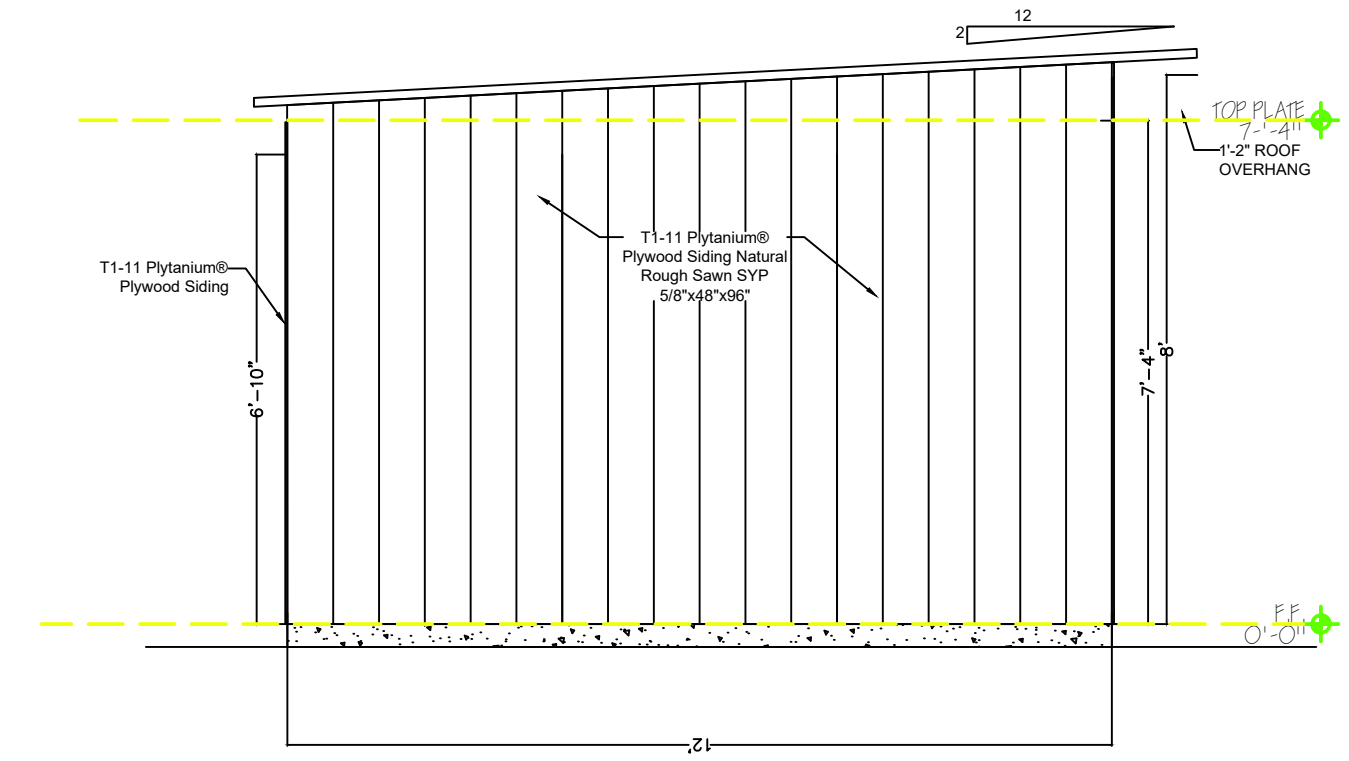
Opening Width	# of Jacks	# of Studs	Min Header Size
Up to 4'	1	(2) 2x4	
Up to 6'	1	(2) 2x6	
Up to 8'	2	(2) 2x8	
Up to 8' @ End Wall	2	2	(2) 2x6



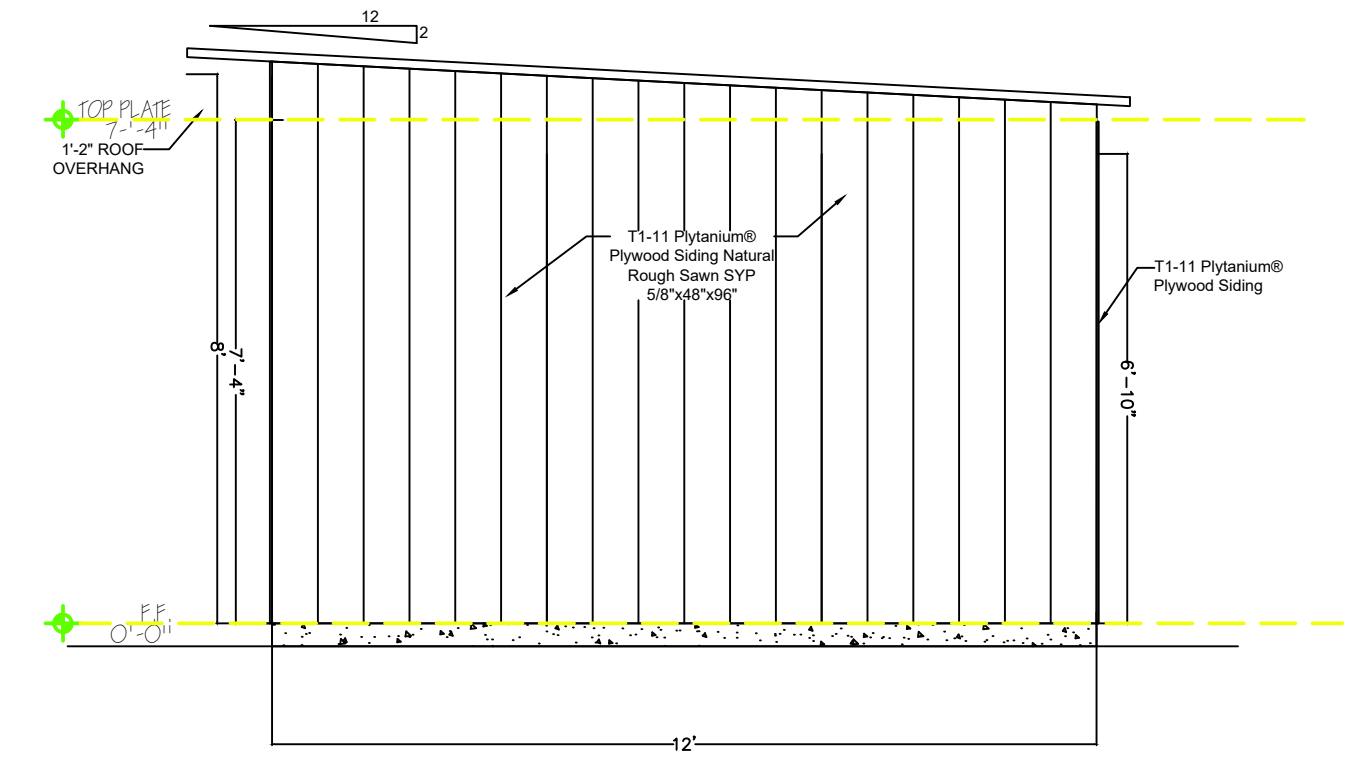
ELEVATION FRONT
 SCALE: 3/8"=1'-0"



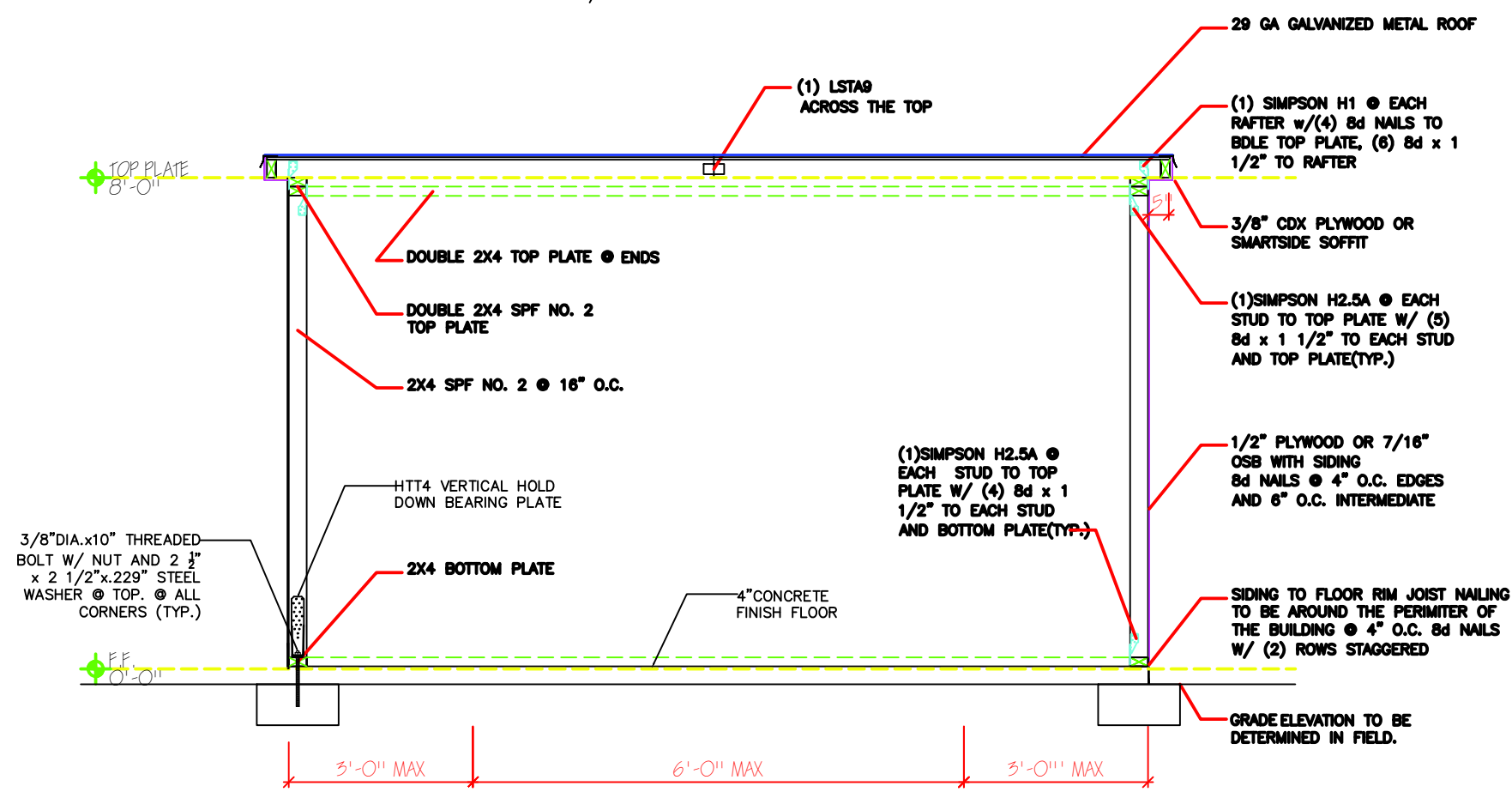
ELEVATION REAR
 SCALE: 3/8"=1'-0"



ELEVATION SIDE
 SCALE: 3/8"=1'-0"

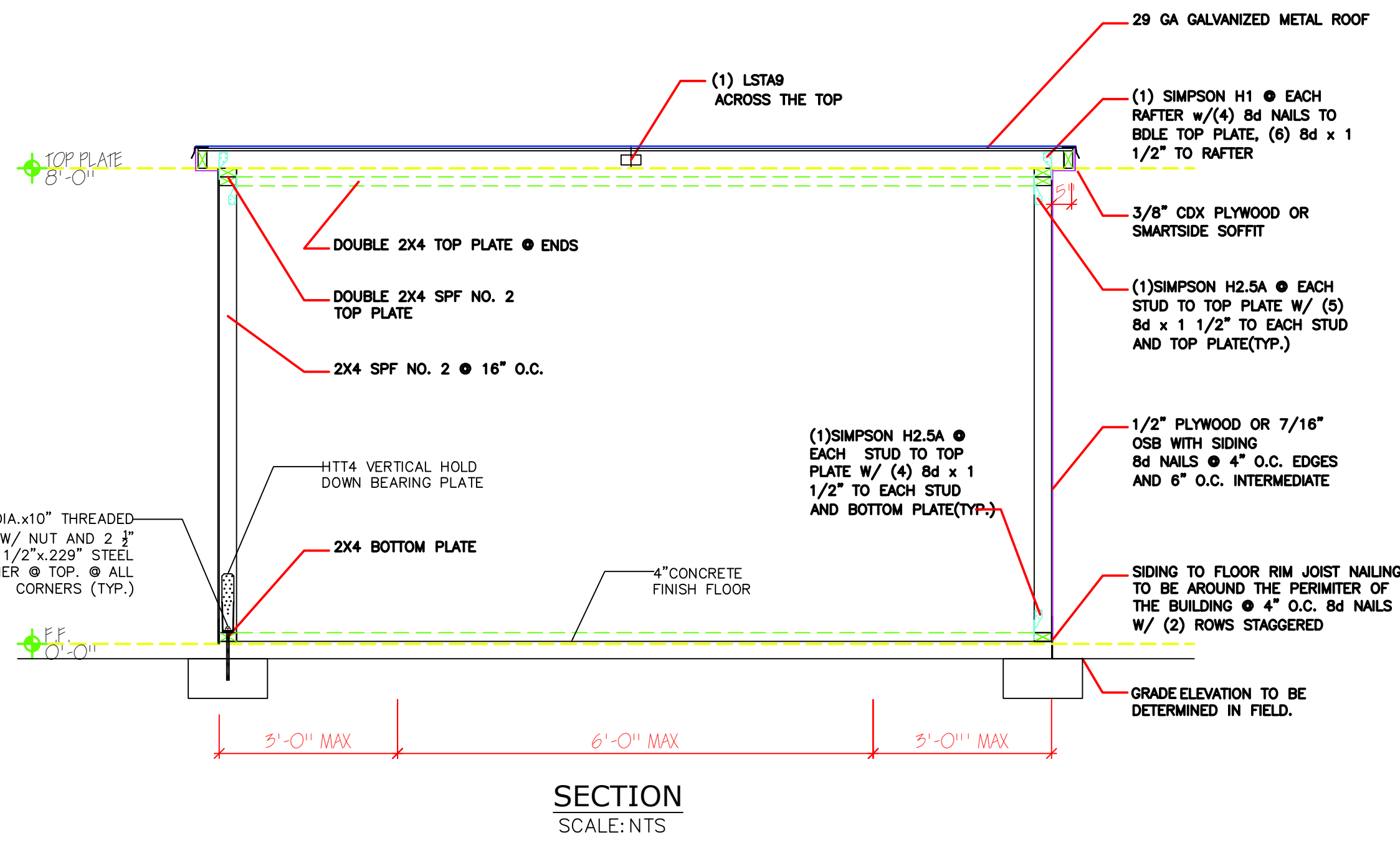


ELEVATION SIDE
 SCALE: 3/8"=1'-0"

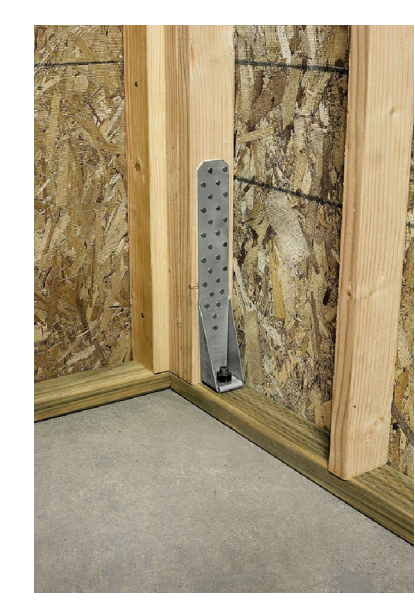


SECTION
 SCALE: NTS

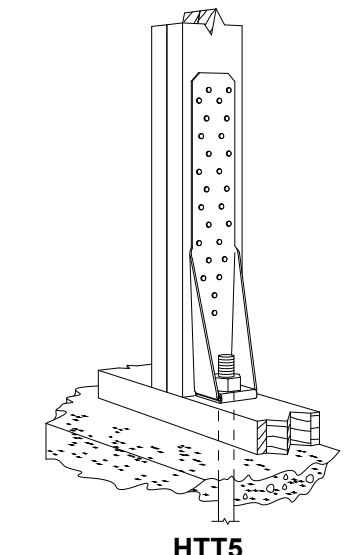
TYP. BUILDING SECTION @ ROOF
 USE 2x6 PT FLOOR JOISTS @ 16" oc UP TO 8' FREE SPAN
 FOR SHED 12' WIDE AND OVER, USE 2x6 RAFTERS
 ENDS OF COLLAR TIES TO BE PLACED NO MORE THAN 4' (MEASURED HORIZONTALLY) FROM EITHER END OF RAFTER MEMBER.
 ALL WOOD PLACE WITHIN 12" OF GRADE SHALL BE TREATED FOR TERMITE RESISTANCE.



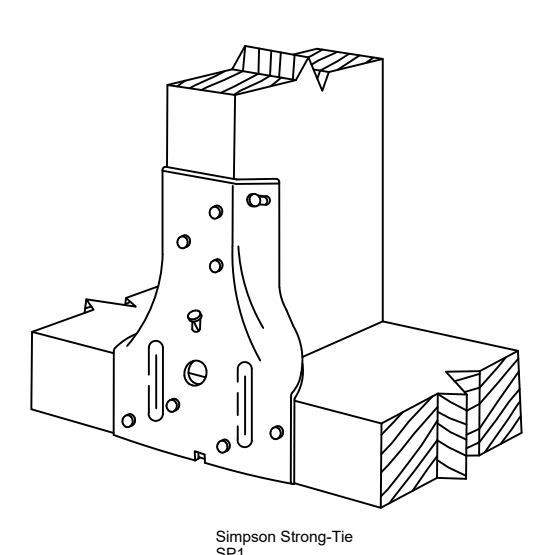
TYP. BUILDING SECTION @ ROOF
 USE 2x6 PT FLOOR JOISTS @ 16" oc UP TO 8' FREE SPAN
 FOR SHED 12' WIDE AND OVER, USE 2x6 RAFTERS
 ENDS OF COLLAR TIES TO BE PLACED NO MORE THAN 4' (MEASURED HORIZONTALLY) FROM EITHER END OF RAFTER MEMBER.
 ALL WOOD PLACE WITHIN 12" OF GRADE SHALL BE TREATED FOR TERMITE RESISTANCE.



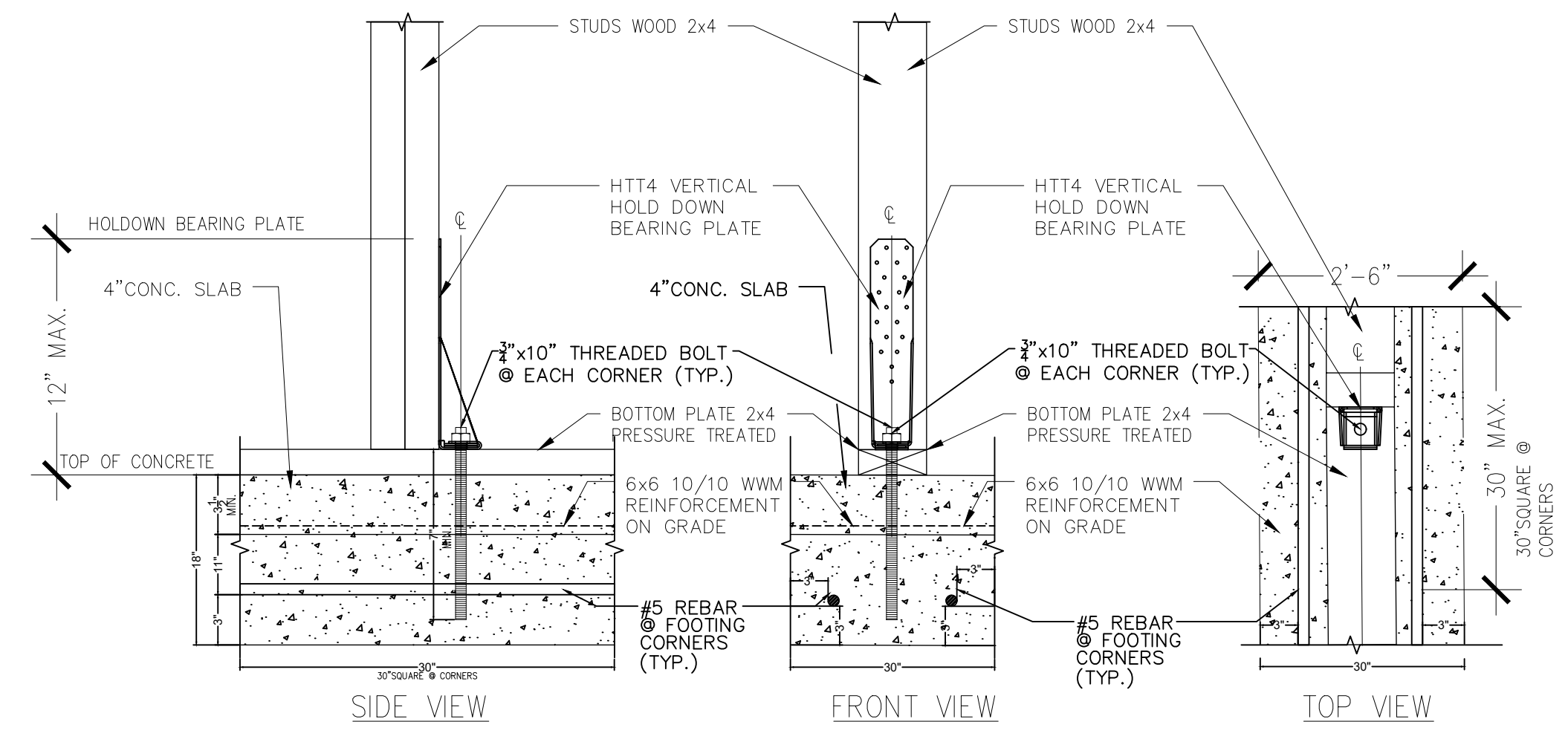
DETAIL
SCALE: NTS



HTT5
(HTT4 similar)
DETAIL
SCALE: NTS



DETAIL
SCALE: NTS



HOLDOWN ANCHORED TO SILL PLATE
30"x30"

A
1 **DETAIL**
SCALE: 1/2" = 1'-0"



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NEW STORAGE SHED ADDITION
 7747 NATURE TRAIL
 LAKELAND, FLORIDA 33803

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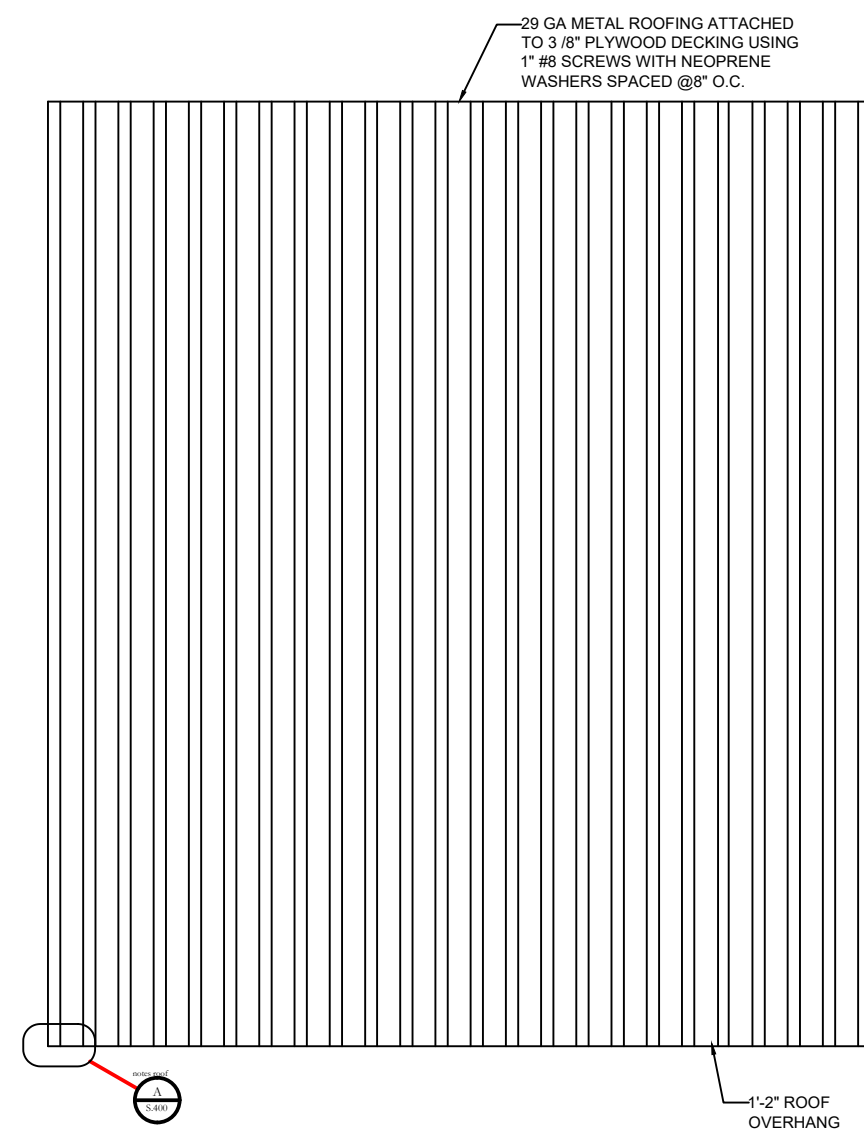
PROJECT No: 060225.003

DATE: June 02, 2025

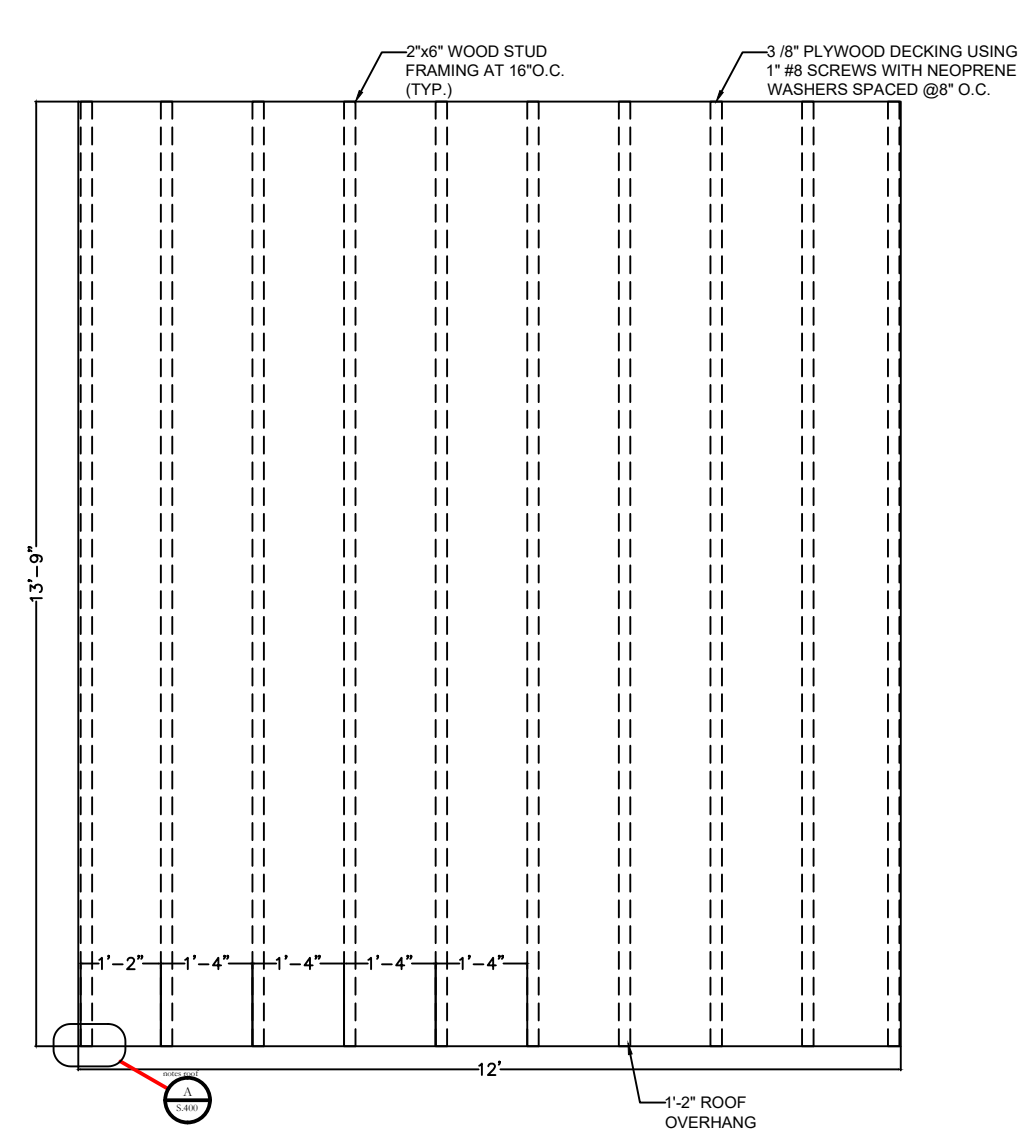
BUILDING SECTION
FOOTER DETAILS
and
DETAILS

SHEET NO:
A-4

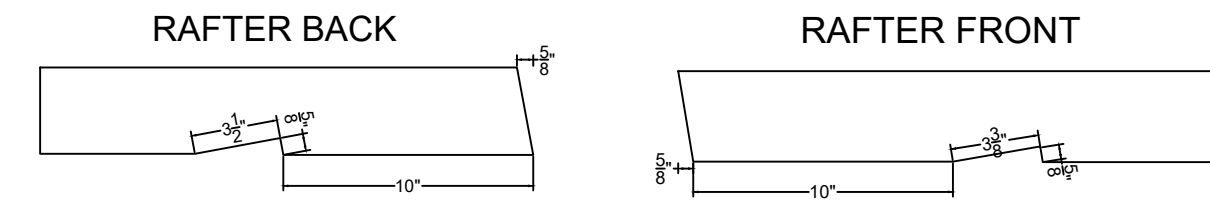
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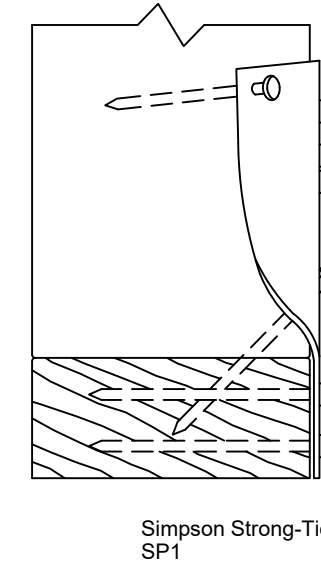
ROOF PLAN
SCALE: 3/8"=1'-0"



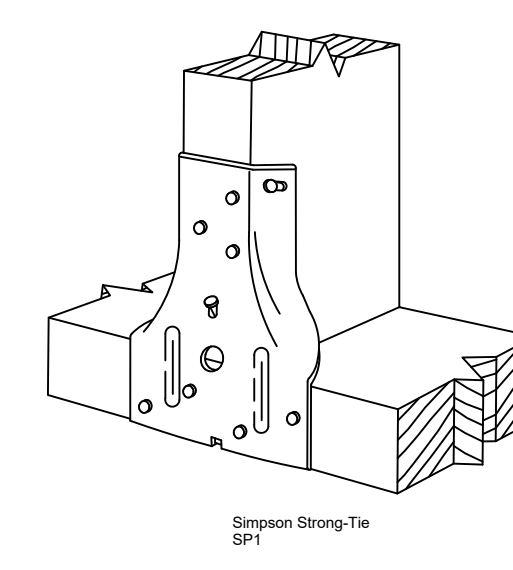
ROOF FRAMING PLAN
SCALE: 3/8"=1'-0"



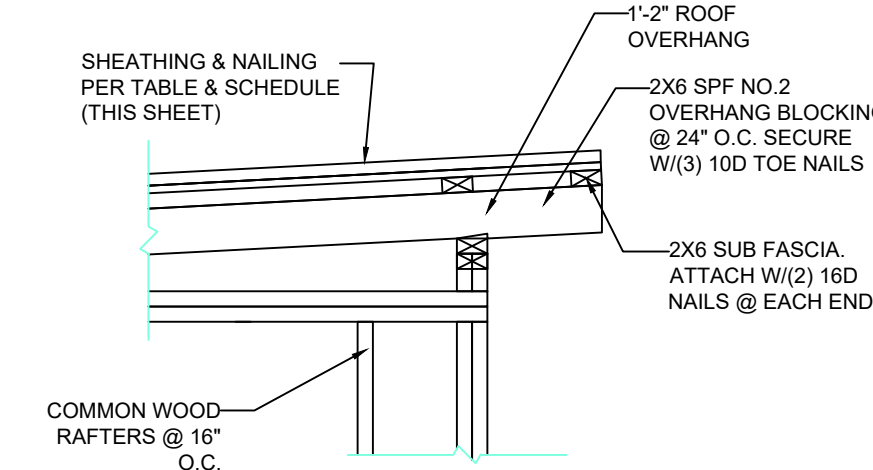
DETAIL
SCALE: NTS



DETAIL
SCALE: NTS



DETAIL
SCALE: NTS



DETAIL
SCALE: NTS

ROOF SHEATHING FASTENING NOTES

NAILING:
ALL ZONES: USE 8D RINGSHANK NAILS 4" O.C. EDGE & 4" INTERMEDIATE
NOTE:
IF PNEUMATIC NAILS ARE USED, USE A PASLODE OR EQUIVALENT, 2-3/8"x0.113 THREADED, COATED NAIL IN LIEU OF 8D RINGSHANK NAILS CALLED FOR ABOVE.

ROOF COVERAGE

29 GA GALVANIZED METAL ROOF OR SHINGLES SHALL COMPLY WITH ASTM D 7158 CLASS H OR ASTM D 3161 CLASS F OR TAS 107 OR AND R905.2.6.1 & TABLE R905.2.6.1 . ROOFING SHALL HAVE FLORIDA OR MIAMI - DADE PRODUCT APPROVAL FOR ULT WIND SPEED OF 180 MPH. INSTALL PER MANUFACTURER'S INSTRUCTIONS

SHEATHING REQUIREMENTS

SHINGLE OR METAL ROOF:
7/16" OR 1/2" C-D, GROUP 2, EXP. 1 APA RATED 24/16

WHERE PERMITTED BY LOCAL AUTHORITY, INNER SEAL OSB SHEATHING CAN BE USED:
SHINGLE OR METAL ROOF:
7/16", 5/32", OR 1/2" APA RATED 24/16

- NOTES:**
- 1) PLYWOOD TO BE PERPENDICULAR TO FRAMING. END JOINTS SHALL BE STAGGERED.
 - 2) CONTRACTOR SHALL INSTALL PLYWOOD USING PLYWOOD CLIPS WITH BUILT-IN SPACERS.
 - 3) UNDERLAYMENT: REFERENCE TABLE R905.1.1 FOR UA=UNDERLAYMENT ATTACHMENT

METAL ROOF

- 4:12 AND GREATER
ASTM D 226 TYPE 11, UA2
ASTM D 4869 TYPE IV, UA2 ASTM D 6757, UA2
ASTM D 1970, UA3
- 4) ALL MEMBRANE FLASHINGS INSTALLED PER MANUFACTURER'S SPECIFICATIONS

THE ABOVE BUILDING/STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH ASCE 7-16 FOR GRAVITY AND DESIGN PRESSURES GENERATED BY A ULTIMATE WIND SPEED OF 150 M.P.H @ 3 SECOND GUST & NOMINAL WIND SPEED OF 116 M.P.H., 3 SECOND GUST.



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NEW STORAGE SHED ADDITION
7747 NATURE TRAIL
LAKELAND, FLORIDA 33803

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PROJECT No: 060225.003

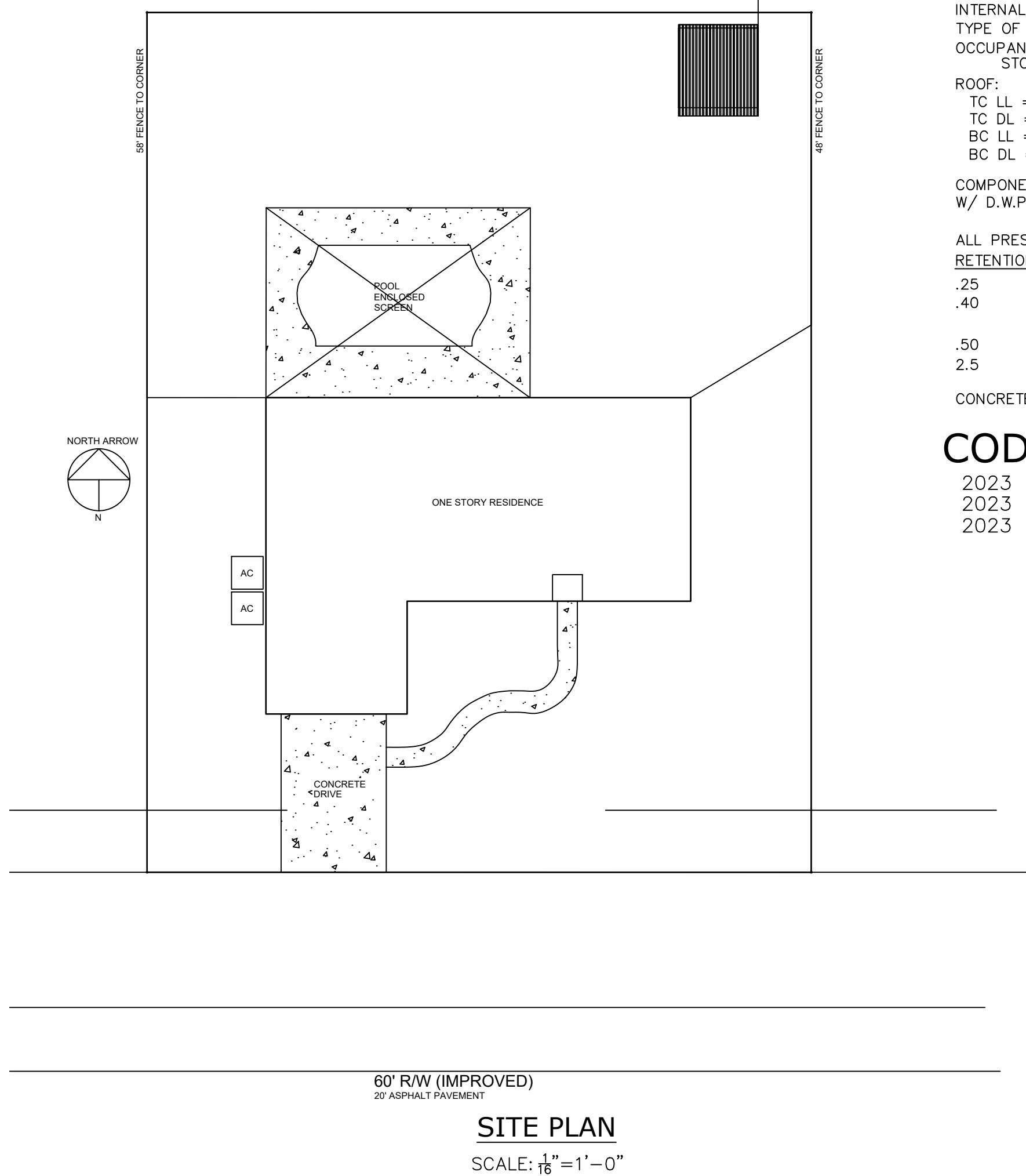
DATE: June 02, 2025

ROOF PLAN
ROOF FRAMING
and
DETAILS

SHEET NO:
A-5

PROJECT INFORMATION

NEW STORAGE SHED ADDITION



GENERAL NOTES

- 1) THIS COVER SHEET AND ADDITIONAL ACCOMPANYING ATTACHMENT SHEETS REPRESENT MINIMUM DESIGN REQUIREMENTS FOR CONSTRUCTION OF THE ATTACHED SEALED PLANS IN ACCORDANCE WITH ASCE 7-22, FOR WIND PRESSURES SITED ON BUILDINGS IN THE ULTIMATE 150 MPH WIND ZONE (NOMINAL WIND SPEED 116 MPH) & NEC 2020.
- 2) THE RAISED SEAL SET (OR ELECTRONICS SEALED SET) OF PLANS ARE ON FILE IN THE THIRD PARTY AGENCY'S OFFICE AS DIRECTED BY THE DBPR.
- 3) THIS BUILDING HAS NOT BEEN DESIGNED OR APPROVED FOR PLACEMENT IN HIGH VELOCITY HURRICANE ZONES (HVHZ).
- 4) THE OWNER/CONTRACTOR SHALL VERIFY ALL PRODUCT AVAILABILITY, DIMENSIONS, SITE CONDITIONS, AND EQUIPMENT REQUIREMENTS BEFORE COMMENCING ANY WORK. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- 5) THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUY'S, OR TIE-DOWNS.
- 6) DESIGN LOADS
THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 1609 OF THE 2023 FLORIDA BUILDING CODE, RESIDENTIAL.
- 7) THE MANUFACTURER'S DATA SHEET AND THE STATE (DBPR) INSIGNIA SHALL BE PERMANENTLY MOUNTED TO OR ABOUT THE ELECTRICAL PANEL.
- 8) THIS STRUCTURE HAS BEEN DESIGNED FOR ERECTION OR INSTALLATION ON A SITE BUILT PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED. FOUNDATION SHALL ONLY BE APPROVED BY THE LOCAL BUILDING OFFICIAL.
- 9) ALL SITE RELATED WORK SUCH AS, BUT NOT LIMITED TO, FOUNDATION, TIE DOWN AND ELECTRICAL SERVICE SHALL BE BY OTHERS AND AS PER THE A.H.J. NO ELECTRICAL, PLUMBING OR HVAC WORK IS INCLUDED IN THIS SHELL DESIGN
- 10) SITE ENVIRONMENTAL STUDIES, IF REQUIRED, ARE TO BE PERFORMED BY OTHERS.
- 11) PRODUCT/MATERIAL SUBSTITUTION IS PERMITTED IF THE SUBSTITUTE IS EQUAL OR GREATER THAN THE SPECIFIED PRODUCT. TESTING DATA AND/OR VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 12) ALL REQUIRED PRODUCTS SHALL MEET FLORIDA PRODUCT APPROVAL RULE 61G20-3.006 (FAC)
- 13) ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. DO NOT SCALE THE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- 14) THIS BUILDING IS SUBJECT TO REVIEW AND APPROVAL OF THE FIRE INSPECTOR ON SITE WITH COMPLIANCE WITH CH. 633 FIRE SAFETY CODE.
- 15) ITEMS TO BE SITE INSTALLED AND SUBJECT TO LOCAL CODE REVIEW AND COMPLIANCE.

DESIGN CRITERIA:

DESIGN CONFORMS W/2023 FLORIDA BUILDING CODE, BUILDING, 8th EDITION.
DESIGNED FOR: 150 MPH 3 SECOND GUST WIND FORCES PER ASCE-7-10 MINIMUM
DESIGNED FOR: Vwsd 116 MPH WIND NOMINAL DESIGN FORCES
DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES.
EXPOSURE CATEGORY - B
RISK CATEGORY - II
TYPE III-B CONSTRUCTION
INTERNAL PRESSURE COEFFICIENT = ±0.18
TYPE OF OCCUPANCY = U: STORAGE
OCCUPANT LOAD PER CHAPTER 10: MEANS OF EGRESS
STORAGE: 300SF/OCCUPANT = 300SF / 300 = 1 OCCUPANTS

ROOF:
TC LL = 20PSF
TC DL = 10PSF
BC LL = 0
BC DL = 10PSF

COMPONENTS AND CLADDING TO BE INSTALLED PER MANUFACTURERS SPECS
W/ D.W.P. POS/NEG 30 PSF, CHAPTER 30 COMPONENTS/CLADDING (C&C)

ALL PRESSURE TREATED LUMBER SHALL BE AS FOLLOWS:
RETENTION (LBS/CU. FT.) USES/EXPOSURES:
.25 ABOVE GROUND
.40 GROUND CONTACT
FRESH WATER
WOOD FOUNDATION
SALT WATER

CONCRETE TO BE MIN. 1000psi. REBAR = 40,000 PSI

CODES:

2023 FLORIDA BUILDING CODE, 8th EDITION - BUILDING
2023 FLORIDA BUILDING CODE, 8th EDITION - RESIDENTIAL
2023 FLORIDA FIRE PREVENTION CODE, 8th EDITION



BUILDING NOTES

- 1) THESE STRUCTURAL DRAWINGS SHALL BE USED FOR THE CONSTRUCTION OF THE SHOWN STORAGE BUILDING. IN THE EVENT OF DIMENSIONAL DISCREPANCY, NOTIFY THE ENGINEER FOR RESOLUTION OF CONFLICT. ANY DEVIATION FROM THESE DRAWINGS MUST BE APPROVED BY THE ENGINEER.
- 2) THIS IS TO CERTIFY THAT THE WOOD FRAME STORAGE BUILDING AS SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE, RESIDENTIAL WITH ALL REVISIONS TO ASCE 7-22 FOR UP TO 150 MPH WIND VELOCITY.
- 3) MATERIALS.
ALL VERTICAL LUMBER TO BE NO 2 GRADE SPF OR EQUIVALENT.
ALL HORIZONTAL FLOOR FRAMING TO BE NO 2 GRADE SYP. ALL PLYWOOD/PLYWOOD GUSSETS SHALL CONFORM TO APA PDS-04.
ALL CONNECTORS/FASTENERS (SIMPSON STRONG TIE OR APPROVED) APPLICABLE CODES, TO ASSURE SUPPORT.
* NO 2 GRADE SPF LUMBER OR EQUIVALENT IS APPLICABLE UP TO 155MPH SPEED.
- 4) DIMENSIONS LABELED BY LETTERS VARY BY MODEL AND SIZE OF BUILDING AND SHALL BE OBTAINED FROM THE PROVIDED SCHEDULES.
- 5) NON-STRUCTURAL DETAILS AND ITEMS MAY BE CHANGED AT OWNERS DISCRETION.
- 6) ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIP GALVANIZED (G 185) OR STAINLESS STEEL. ALL LUMBER IN CONTACT WITH THE EARTH SHALL BE PRESSURE TREATED WITH PRESERVATIVE. EXTERIOR NON-TREATED WOOD SIDING SHALL NOT BE LESS THAN 12" FROM EXPOSED EARTH.
- 7) ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, CONCRETE/ANCHORING/ELECTRICAL CONNECTIONS, SHALL BE BY OTHERS.

PROJECT DESCRIPTION:

NEW STORAGE SHED ADDITION IS A NEW CONSTRUCTION OF A BACKYARD STORAGE STRUCTURE. THE SHED WILL HOUSE AND STORE EQUIPMENT. THE BUILDING IS 7' TALL WITH A SLAB, AND IS CLASSIFIED AS ADDITION. THE EXTERIOR WALLS ARE LOAD BEARING WOOD WITH A ONLY STRUCTURE WITH CONCRETE FLOOR. THE ROOF AND FOUNDATION WILL BE TO CODE. THIS BUILDING WILL COMPLY WITH FLORIDA BUILDING CODE REQUIREMENTS.

INDEX OF DRAWINGS

PLAN SHEETS

- G-1 COVER SHEET-GENERAL-NOTES
- G-2 PROJECT INFORMATION
- A-1 FLOOR PLAN-ELEVATIONS-SECTION
- A-3 FRAMING PLAN-ELEVATIONS-DETAILS
- A-4 BUILDING SECTION-FOOTER DETAILS
- A-5 ROOF PLAN-FRAMING-DETAILS
- A-6 FOUNDATION PLAN-SECTION-DETAILS

CONTACT:

GENERAL CONTRACTOR:

7747 NATURE TRAIL
LAKELAND, FLORIDA 33803
P: 863-602-4368

ENGINEER OF RECORD:

ROBERT T. HAUG, P.E.
2320 E. EDGEWOOD DRIVE
LAKELAND, FLORIDA 33803
PHONE: 863-687-4225
FL REG NO. 24575

DESIGN COMPANY:

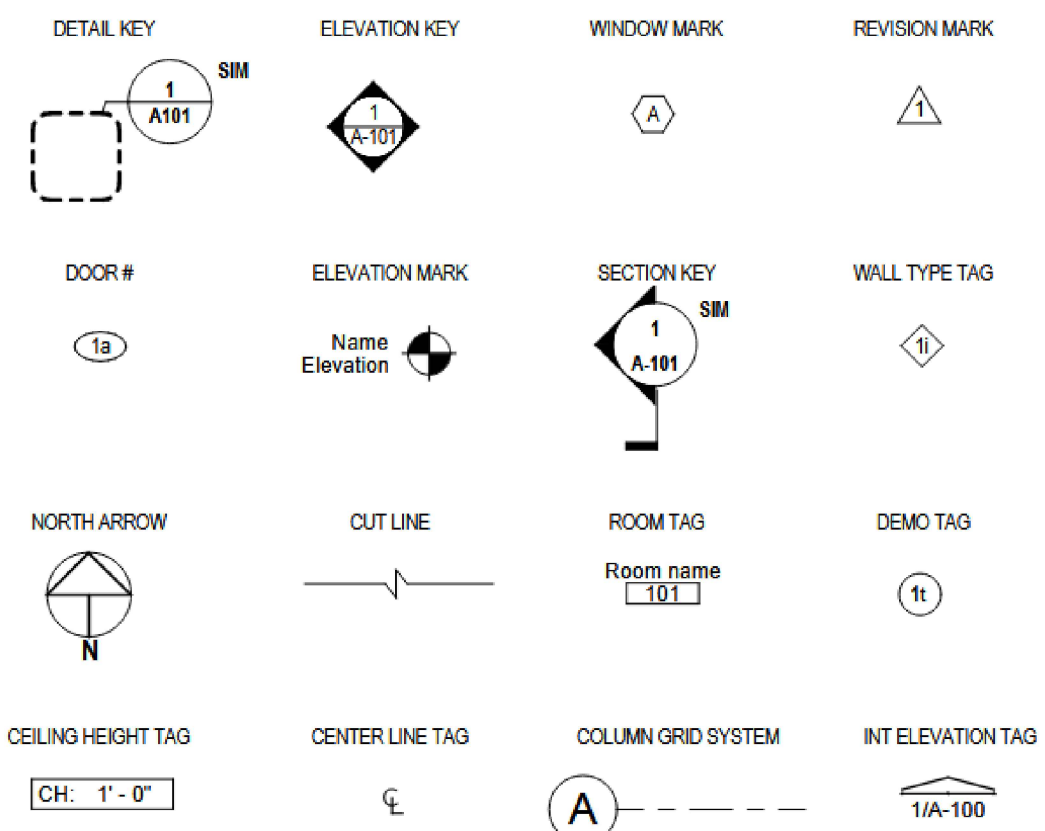
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PO Box 280342
Memphis, Tennessee 38168
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PROJECT No: 060225.003

OWNER INFORMATION
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P: 863-602-4368

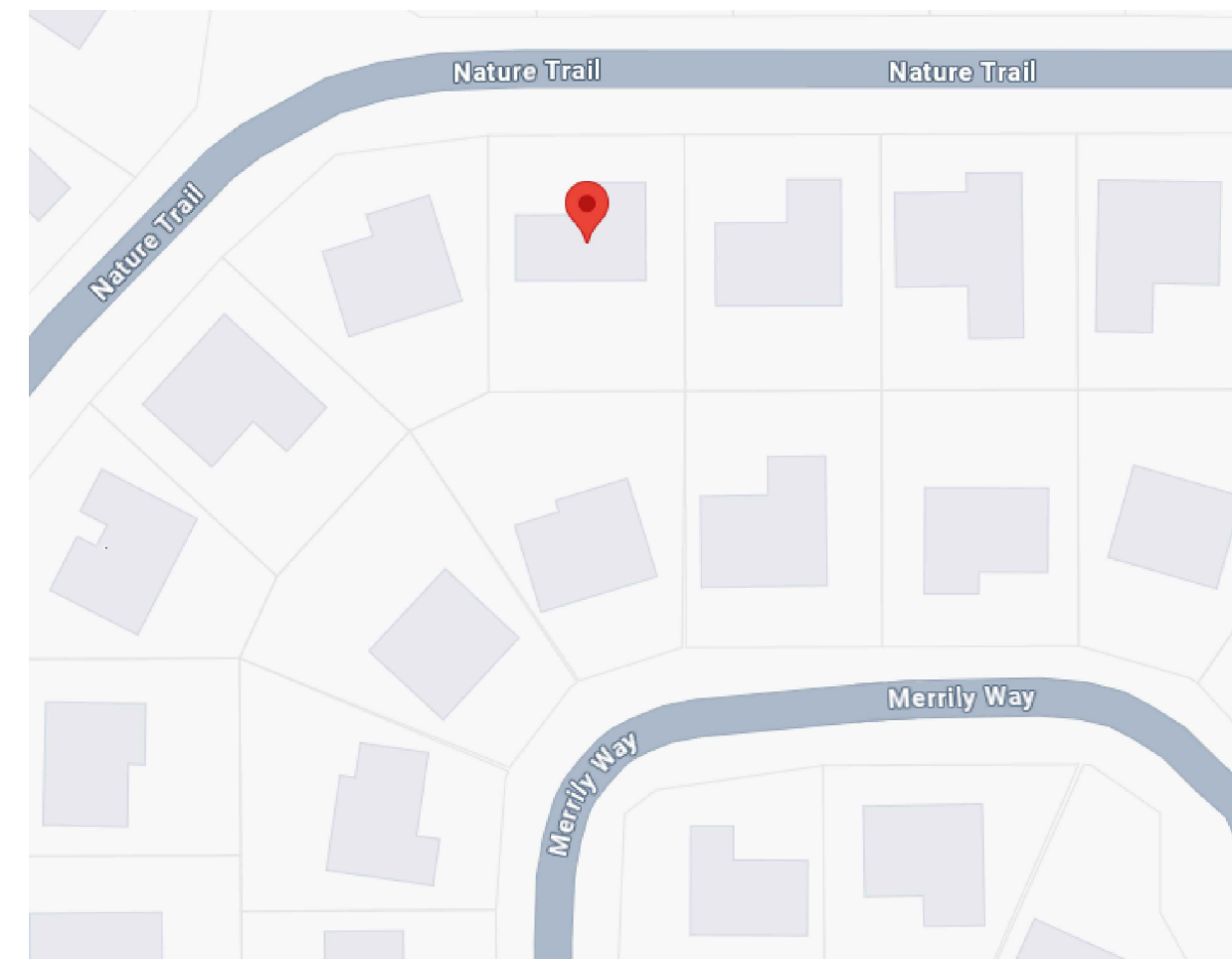
PROJECT INFORMATION

SYMBOLS LEGEND:



DRAWING TITLE
1 View Name
1/8" = 1'-0"

VICINITY MAP:



SIMPSON CONNECTOR NOTES

- 1) SIMPSON CONNECTIONS SPECIFIED ARE DESIGNED AND MANUFACTURED FOR THE PURPOSES SHOWN, AND SHOULD NOT BE USED WITH OTHER CONNECTORS NOT APPROVED BY THE DESIGN ENGINEER. MODIFICATIONS TO PRODUCTS OR CHANGES IN INSTALLATION PROCEDURES SHOULD NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER. THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURES IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
 - 2) SUBSTITUTIONS FOR SIMPSON STRONG-TIE CO. INC.'S PRODUCTS SHALL BE APPROVED IF EQUAL AND APPROVED IN WRITING BY THE ENGINEER.
- INSTRUCTIONS FOR THE INSTALLER:
- 1) ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE SIMPSON CATALOG. INCORRECT FASTENER QUANTITY, SIZE, TYPE, MATERIAL, OR FINISH MAY CAUSE THE CONNECTION TO FAIL. 16D FASTENERS ARE COMMON NAILS (18GA X 3-1/2") UNLESS OTHERWISE SPECIFIED.
 - 2) BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
 - 3) INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.
 - 4) PNEUMATIC OR POWDER-ACTUATED FASTENERS MAY DEFLECT AND INJURE THE OPERATOR OR OTHERS. NAIL GUNS MAY BE USED TO INSTALL CONNECTORS, PROVIDED THE CORRECT QUANTITY AND TYPE OF NAILS ARE PROPERLY INSTALLED IN THE NAIL HOLES. GUNS WITH NAIL HOLE-LOCATING MECHANISMS SHOULD BE USED. FOLLOW THE MANUFACTURER'S INSTRUCTIONS AND USE THE APPROPRIATE SAFETY EQUIPMENT.

STRUCTURAL NOTES

STRUCTURAL DESIGN IS IN ACCORDANCE WITH FLORIDA BUILDING CODE, RESIDENTIAL 2023 8TH EDITION

CODE NOTES

Code Version	2023 FBC Residential, 8th Ed.
Building Type	STORAGE, MEETS R3 STANDARDS
Construction Type	VB
Fire Protection	N/A
Fire Suppression System	N/A
Occupancy	UTILITY
Allowable Stories	1
Wind Velocity	150 mph*
Fire Rating Exterior Walls	N/A
Max Floor Load	Live 120 psf, Dead 10 psf
Roof Load	Live 20 psf, Dead 8 psf
"R" Ratings	N/A
Modules per Building	1
Square Footage	Max 144 sqft

WIND DESIGN DATA:

WIND LOAD: ULTIMATE WIND DESIGN SPEED, 3 SEC. GUST = 150MPH
BUILDING RISK CATEGORY = I: STORAGE
OCCUPANCY CATEGORY: U
RISK CATEGORY: II
WIND INTERIOR PRESSURE COEF: .18
EXPOSURE B
SURFACE ROUGHNESS: B



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BUILDING DESIGN

ENGINEER OF RECORD:
ROBERT T. HAUG P.E.
CONSULTING ENGINEER
FL REG NO. 24575
2320 E. EDGEWOOD DRIVE LAKELAND,
FLORIDA 33803 PH: 863-687-4225

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ROBERT T. HAUG P.E. ON THE DATE AND TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. SIGNATURE MUST BE VERIFIED BY A 3rd PARTY CERTIFICATE AUTHORITY ON ANY ELECTRONIC COPY.

NEW STORAGE SHED ADDITION
7747 NATURE TRAIL
LAKELAND, FLORIDA 33803

2025 Concept Architectural Designs. This Drawing is the Exclusive Property of Concept Architectural Designs And May Not Be Reproduced Or Used Without Their Authorization And Written Permission.

RELEASED FOR USE NOT FOR CONSTRUCTION

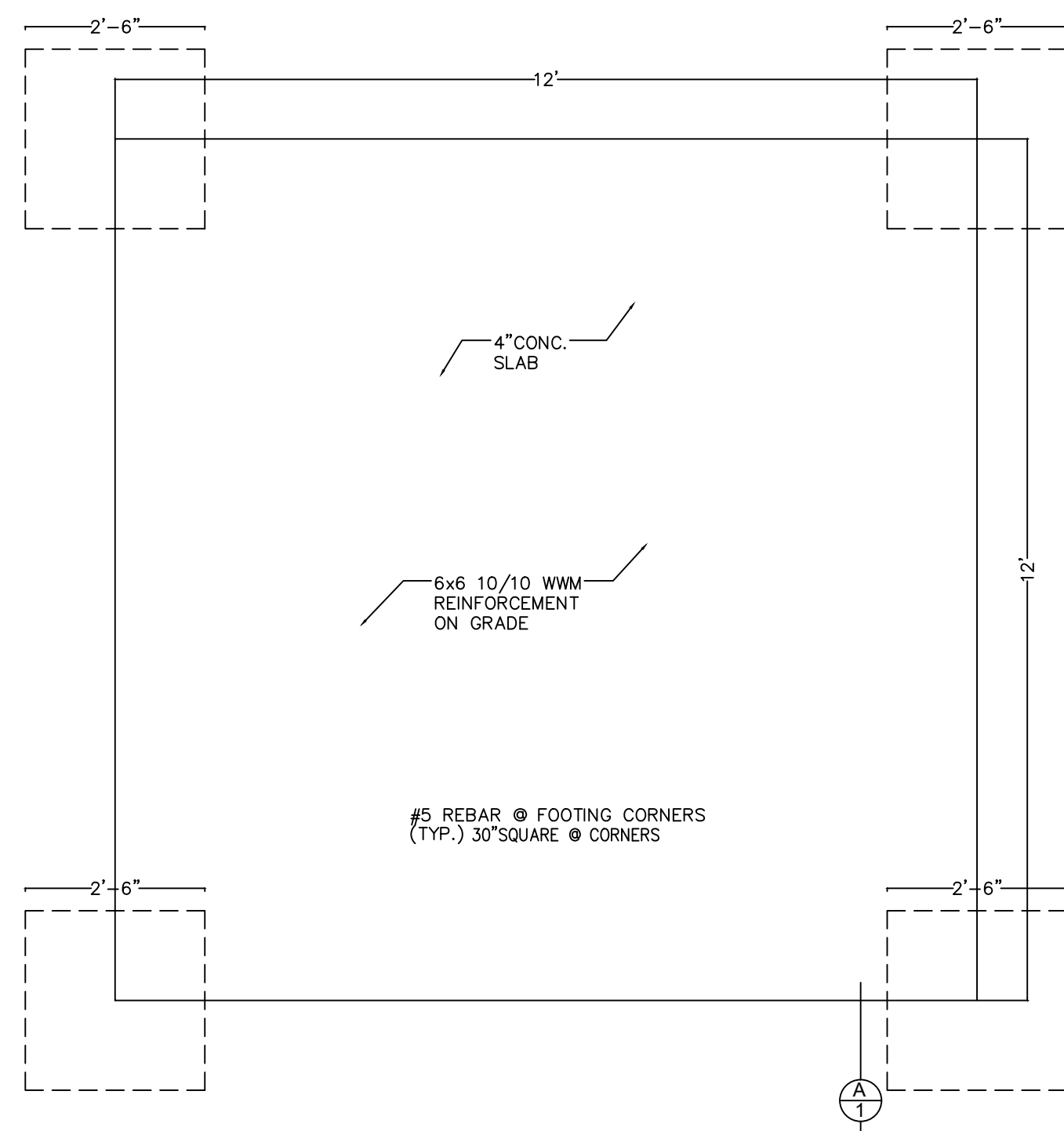
NOTE: THIS SET OF DRAWINGS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. DO NOT SEPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS

PROJECT No: **060225.003**

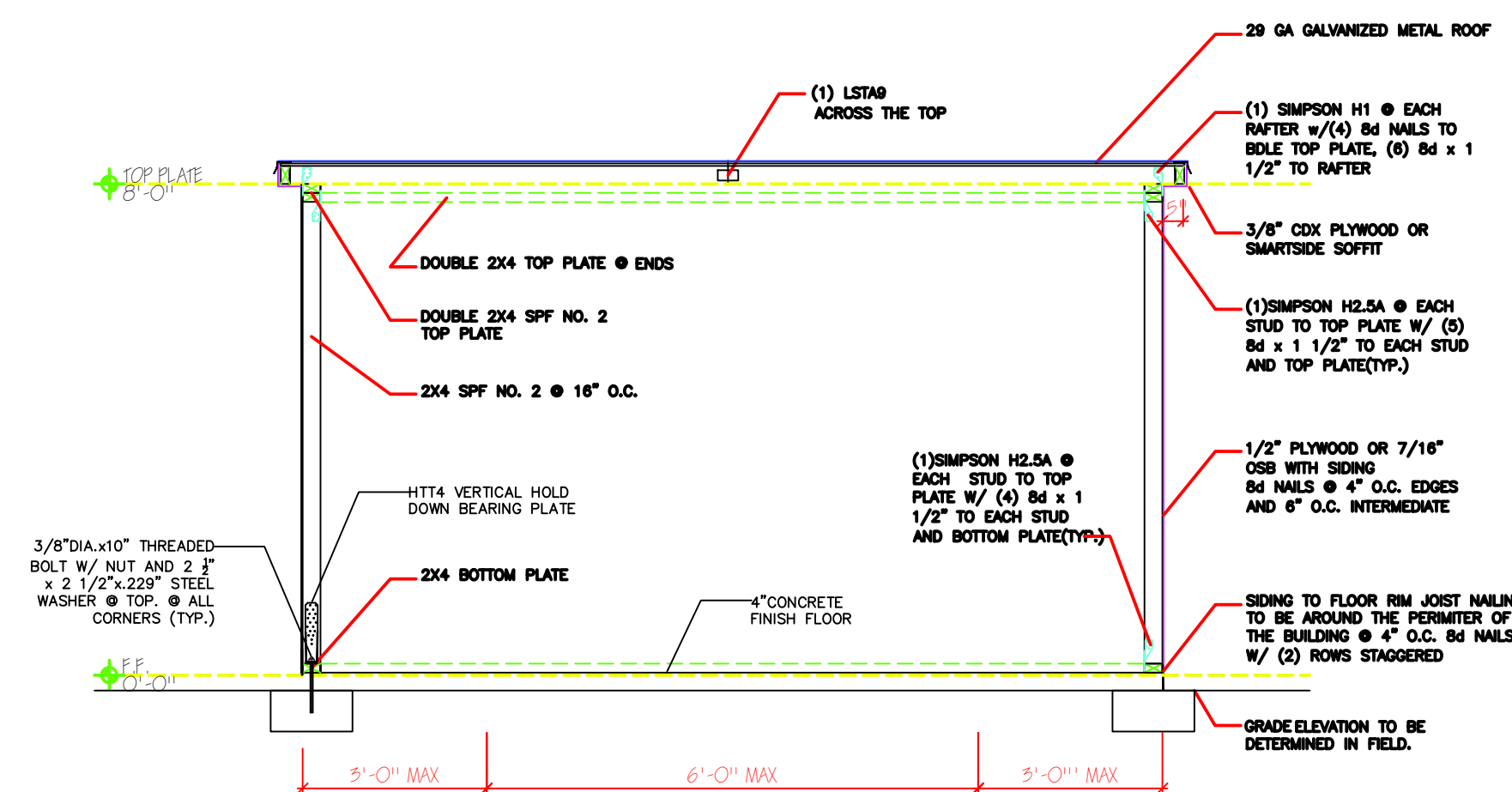
DATE: **June 02, 2025**

COVER SHEET

SHEET NO:
G-1

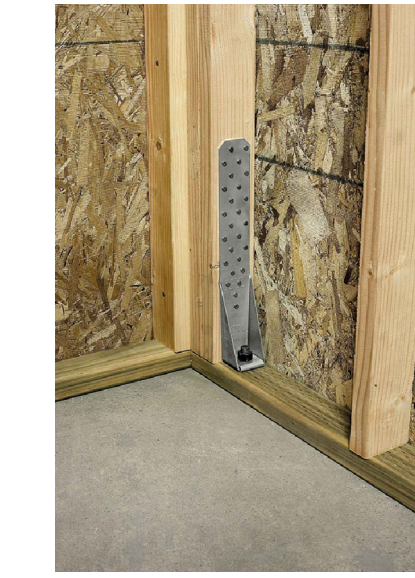


FOUNDATION PLAN
SCALE: 3/8"=1'-0"

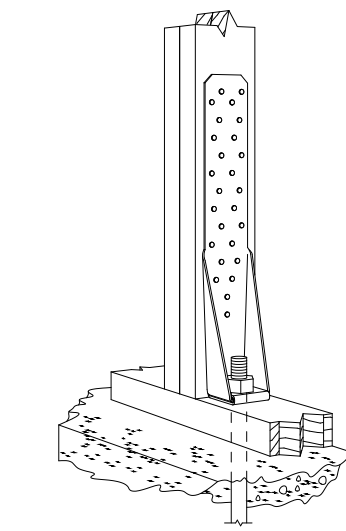


SECTION @ ROOF
SCALE: NTS

TYP. BUILDING SECTION @ ROOF
USE 2x6 PT FLOOR JOISTS @ 16" oc UP TO 8' FREE SPAN
FOR SHED 12' WIDE AND OVER, USE 2x6 RAFTERS
ENDS OF COLLAR TIES TO BE PLACED NO MORE THAN 4' (MEASURED HORIZONTALLY) FROM EITHER END OF RAFTER MEMBER.
ALL WOOD PLACE WITHIN 12" OF GRADE SHALL BE TREATED FOR TERMITE RESISTANCE.

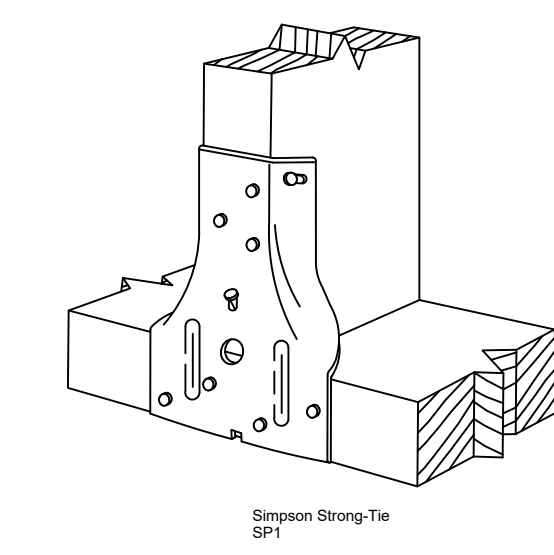


DETAIL
SCALE: NTS



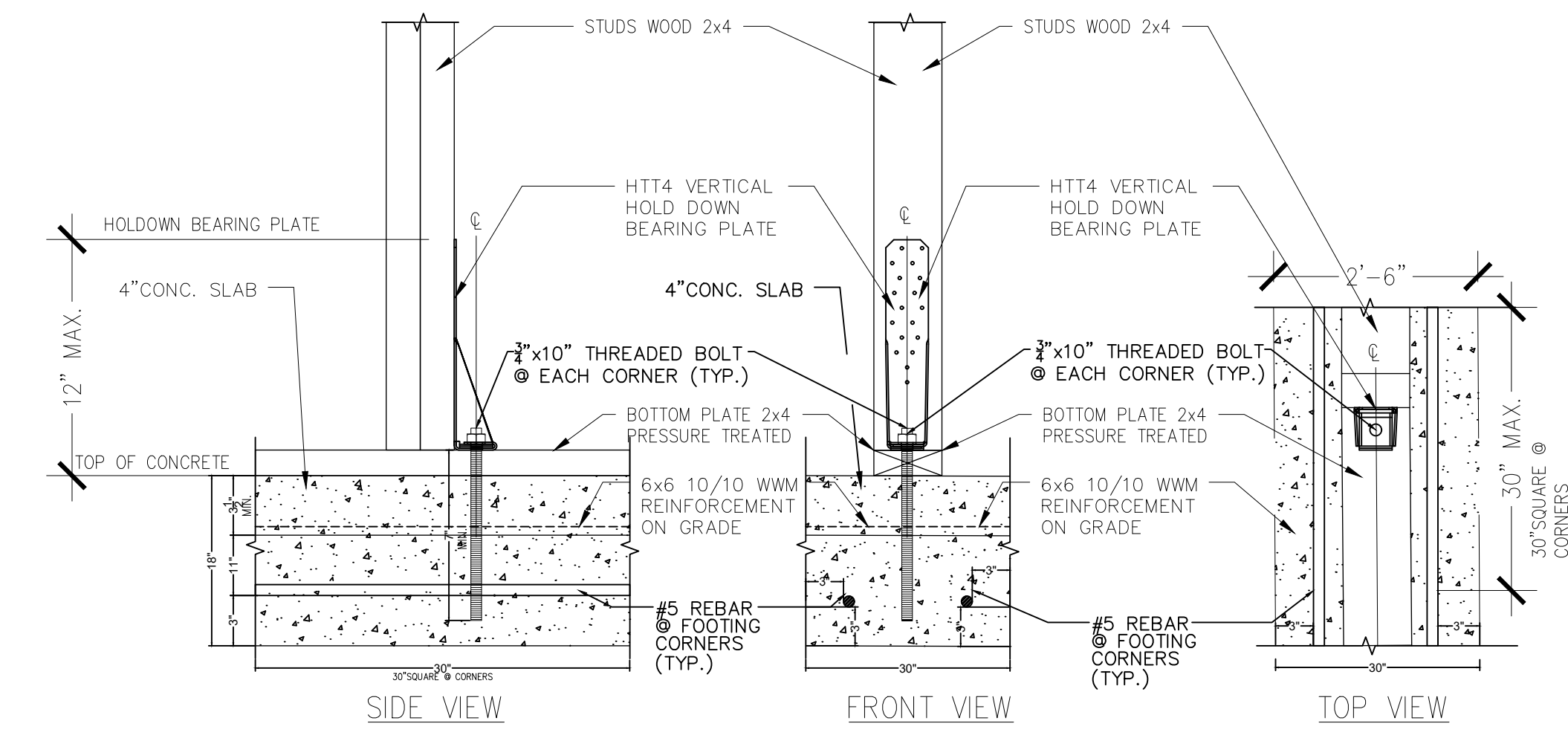
HTT5
(HTT4 similar)

DETAIL
SCALE: NTS



Simpson Strong-Tie
SP1

DETAIL
SCALE: NTS



HOLDOWN ANCHORED TO SILL PLATE
30"x30"

A
1 **DETAIL**
SCALE: 1 1/2" = 1'-0"



concept architectural designs
PO Box 280342
Memphis, Tennessee 38168
P: 901-654-7561
https://www.conceptcad.com

ENGINEER OF RECORD:
ROBERT T. HAUG P.E.
CONSULTING ENGINEER, 3880 BO. 24575
EDGEWOOD DRIVE LAKELAND, FLORIDA
33803 PH: 863-687-4225

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NEW STORAGE SHED ADDITION
7747 NATURE TRAIL
LAKELAND, FLORIDA 33803

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PROJECT No: 060225.003

DATE: June 02, 2025

FOUNDATION PLAN
BUILDING SECTION
and
DETAILS

SHEET NO:
S-1

concept@2025concept architectural designs

Deeds & Sales Records



February 28, 2024

Deed Of Trust

RESIDENTIAL • STAND ALONE SECOND

BUYER

Shawn A Chaisson Crystal Sue Chaisson

7747 NATURE TRL

LENDER DETAILS

LENDER

Credit Union

MORTGAGE

\$50,000

COUNTY RECORDS

APN #

242716161091001750

DOCUMENT TYPE

Deed Of Trust

COUNTY

Polk

PURCHASE TYPE

Mortgage

TITLE RECORDS

TRANSACTION ID

1027298868

CODE

26021

MORTGAGES RECORDS

TERM

15 years

TERM DATE

03/01/2039

BOOK

13010

PAGE

352

LENDER NAME

Publix Employees Fcu

LENDER ADDRESS

Lakeland, FL

DOCUMENT NUMBER

0000037882

INSTRUMENT NUMBER

2024037882

BUYER RECORDS

VESTING CHANGES



November 03, 2021

Deed Of Trust

RESIDENTIAL • CONVENTIONAL

BUYER

Shawn A Chaisson Crystal Sue Chaisson

7747 NATURE TRL

LENDER DETAILS

LENDER

Bank

MORTGAGE

\$220,000

COUNTY RECORDS

APN #

242716161091001750

DOCUMENT TYPE

Deed Of Trust

COUNTY

Polk

PURCHASE TYPE

Mortgage

TITLE RECORDS

TRANSACTION ID

975082000

MORTGAGES RECORDS

TERM

15 years

TERM DATE

11/01/2036

BOOK

11945

PAGE

577

LENDER NAME

South State Bank Na

LENDER ADDRESS

Charleston, SC

DOCUMENT NUMBER

0000273506

INSTRUMENT NUMBER

2021273506

BUYER RECORDS

VESTING CHANGES



March 25, 2020

Deed Of Trust

RESIDENTIAL • CONVENTIONAL

BUYER

Shawn A Chaisson Crystal S Chaisson

7747 NATURE TRL LAKELAND FL 338095076

LENDER DETAILS

LENDER

Credit Union

MORTGAGE

\$165,000

COUNTY RECORDS

APN #

242716161091001750

DOCUMENT TYPE

Deed Of Trust

COUNTY

Polk

DOCUMENT #

0111930411

PURCHASE TYPE

Mortgage

TITLE RECORDS

TRANSACTION ID

872425196

LOT

175

PLAT MAP BOOK

86

PLAT MAP PAGE

19

MORTGAGES RECORDS

TERM

15 years

TERM DATE

03/31/2035

BOOK

011193

PAGE

000411

LENDER NAME

Publix Emps Fcu

LENDER ADDRESS

Lakeland, FL

DOCUMENT NUMBER

0111930411

INSTRUMENT NUMBER

70719

BUYER RECORDS

VESTING CHANGES
Husband And Wife



January 21, 2017

Deed Of Trust

RESIDENTIAL • LINE OF CREDIT

BUYER

Shawn A Chaisson Crystal S Chaisson

7747 NATURE TRL LAKELAND FL 338095076

LENDER DETAILS

MORTGAGE

\$20,000

COUNTY RECORDS

APN #

242716161091001750

DOCUMENT TYPE

Deed Of Trust

BOOK

010054

PAGE

001963

COUNTY

Polk

DOCUMENT #

0100541963

PURCHASE TYPE

Mortgage

TITLE RECORDS

TRANSACTION ID

755248982

LOT

175

PLAT MAP BOOK

86

PLAT MAP PAGE

19

MORTGAGES RECORDS

TERM

10 years

TERM DATE

02/01/2027

RATE TYPE

Adjustable Rate

BOOK

010054

PAGE

001963

LENDER NAME

Midflorida Cu

LENDER ADDRESS

Lakeland, FL

DOCUMENT NUMBER

0100541963

INSTRUMENT NUMBER

21372

BUYER RECORDS

VESTING CHANGES

Husband And Wife



Polk County
Polk County Land Use Hearing Officer

Agenda Item 3.

6/25/2026

SUBJECT

LDLVAR-2026-28 (Grand Canal Dr Variance)

DESCRIPTION

The applicant is requesting a primary structure rear setback reduction from fifteen (15) feet to ten (10) feet for the installation of a solid roof over an existing screened enclosure. The subject site is located at 413 Grand Canal Dr, North of Palmetto St, south of Walnut St, east of the city of Haines City in Section 24, Township 27, Range 28.

RECOMMENDATION

Conditional Approval

FISCAL IMPACT

No Fiscal Impact

CONTACT INFORMATION

Aleya Inglima

Land Development Division

(863) 534-6764

aleyainglima@polkfl.gov

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date: May 14, 2026	CASE #: LDLVAR-2026-28 (Grand Canal Dr Variance)
LUHO Date: June 25, 2026	LDC Section: PUD 98-12

Request: The applicant is requesting a primary structure rear setback reduction from fifteen (15) feet to ten (10) feet for the installation of a solid roof over an existing screened enclosure.

Applicant: Marcos Davila

Property Owner: Regenia Thomas, Stanton Thomas

Location: 413 Grand Canal Dr, North of Palmetto St, south of Walnut St, east of the city of Haines City in Section 24, Township 27, Range 28.

Parcel ID#: 282724-934011-003830

Size: ±0.10 acres

Land Use Designation: Poinciana Pre-Development of Regional Impact (DRI) #1
Planned Unit Development (PUD 98-12), Solivita Phase 3A

Development Area: Utility Enclave Area (UEA)

Case Planner: Aleya Inglima, Planner II

Summary:

The applicant is seeking a variance to reduce the primary structure rear setback from fifteen (15) feet to ten (10) feet for the installation of a solid roof over an existing screened enclosure. The subject site is designated as Lot 383 of the Solivita Phase 3A Subdivision, part of PUD 98-12 which was approved for primary structure rear setbacks of 15 feet and accessory structure rear setbacks of 5 feet. Because the solid aluminum roof will be attached or connected to the principal structure, the newly proposed 30' by 12' solid aluminum roof requires a variance to reduce the primary structure rear setback.

Staff finds this request will cause no direct or indirect harm to the community and recommends approval. Staff recommends approval of LDLVAR-2026-28 as it meets the following criteria listed in Section 931:

1. *Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

This is not the only property within the immediate surrounding neighborhood with a solid aluminum roof to extend full coverage over an existing screened enclosure. Four other variances were approved in this phase. It will not limit the neighbors' peripheral view of the open space. The request to provide full roof coverage with a screened area will have little to no effect on the two immediate neighbors to the north and south. The roof will go over the existing patio footprint.

Development Review Committee

The Development Review Committee, based on the criteria for granting variances, the submitted application, and a recent site visit, finds that the applicant's request as written **IS CONSISTENT** with Section 931 of the Polk County Land Development Code (LDC) and recommends **APPROVAL of LDLVAR-2026-28**

CONDITIONS OF APPROVAL:

1. The property is granted a reduction in the rear primary setback reduction from fifteen (15) feet to ten (10) feet for the installation of a solid roof over an existing screened enclosure.
2. The applicant shall secure permission from the Solivita Community Association prior to seeking building permits for the proposed extension.
3. All necessary permits must be applied for within one (1) year of the date for which the Land Use Hearing Officer's Final Order is rendered.
4. This variance does not authorize any encroachments into easements and the applicant shall be responsible for making certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other interested parties at a public hearing.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submissions of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with the LDC.

DEMONSTRATIONS OF THE CRITERIA FOR GRANTING VARIANCES SUMMARIZED BELOW:

1. *Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

In September 2005, the owner purchased the subject site, according to the Property Appraiser (O.R. BK 6442 PG 0182). The subject site is designated as Lot 383 in the Solivita Phase 3A Subdivision recorded under Plat Book 127, Page 10-13 in 2004. It is located off Grand Canal Dr, a private roadway. The rear of the property abuts Tract P-A designated as a stormwater retention pond. Seeking rear yard setback relief when abutting common areas has become commonplace throughout this development. This screen room with hard roof will not and is not permitted to extend into any drainage easements.

This will not be the first covered screened enclosure within this development. In close proximity to the subject site, Lots 385, 384, and 381 have solid roof coverage over their respective screen enclosures. This expansion is minimal relative to the structure. It will not limit the neighbor's peripheral view of the open space. Other homes in the neighborhood have received variance approval for screened rooms with a hard roof. Therefore the request to provide full roof coverage with the screen enclosure will have little to no effect on the two immediate neighbors to the north and south.

2. *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

The subject site was once part of the larger Poinciana Pre-Development of Regional Impact (DRI) #1 Planned Unit Development (PUD) 71-10. A PUD Modification (98-12) altered the approval leading to the plat for Solivita Phase 3A recorded under Plat Book 127, Page 10-13 in 2004. The subject site is designated as Lot 383. PUD 98-12 was approved for primary structure rear setbacks of 15 feet and accessory structure rear setback of 5 feet. There is no relief for additions to the primary structure with a solid roof without requiring a variance for setback reductions.

3. *Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant;*

The existing home on the subject site was constructed in 2005 and met the primary structure setbacks. In September 2005, the owner purchased the subject site, according to the Property Appraiser (O.R. BK 6442 PG 0182). Because the screen enclosure did not have a solid roof at the time of construction, no variance was needed for the extension. Now, the applicant is looking to add a new screen room with solid roof to extend of the existing screen enclosure. Pursuant to Section 209.F of the Land Development Code (LDC) "roofed accessory structures physically attached or connected to the principal structure shall be considered a part of the principal structure and shall be subject to the same standards as the principal structure." Because the solid aluminum roof will be attached or connected to the

principal structure, the newly proposed solid roof will require a variance to reduce the primary structure rear setback from fifteen (15) feet to ten (10) feet.

4. *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant;*

Every variance approval is a special privilege to some degree. Many buyers within the development see little value in the private open space that remains. Within the Solivita Phase 3A Subdivision, there have been numerous building permits for extended screened enclosures to the rear of the property. Table 1 lists the variances processed and approved within the Poinciana and Solivita developments since 2020.

Table 1

Case	BOA/ LUHO Date	Variance	Case	BOA/ LUHO Date	Variance
LDLVAR-2025-60	11/20/2025	Solid Roof Patio	LDLVAR-2021-130	1/27/2022	Solid Roof Patio
LDLVAR-2025-56	11/20/2025	Solid Roof Patio	LDLVAR-2021-112	12/14/2021	Solid Roof Patio
LDLVAR-2025-19	5/19/2025	SF Home	LDLVAR-2021-87	10/28/2021	Solid Roof Patio
LDLVAR-2025-9	4/24/2025	Solid Roof Patio	LDLVAR-2021-68	9/16/2021	Solid Roof Patio
LDLVAR-2025-2	3/27/2025	Solid Roof Patio	LDLVAR-2021-58	7/22/2021	Solid Roof Patio
LDLVAR-2024-62	12/10/2024	Solid Roof Patio	LDLVAR-2021-50	7/22/2021	Solid Roof Patio
LDLVAR-2024-53	11/12/2024	Solid Roof Patio	LDLVAR-2021-32	7/21/2021	Solid Roof Patio
LDLVAR-2024-34	8/29/2024	Solid Roof Patio	LDLVAR-2021-31	7/21/2021	Solid Roof Patio
LDLVAR-2024-33	8/29/2024	Solid Roof Patio	LDLVAR-2021-30	7/21/2021	Solid Roof Patio
LDLVAR-2024-22	6/27/2024	Solid Roof Patio	LDLVAR-2021-14	4/22/2021	Solid Roof Patio
LDLVAR-2024-4	4/25/2024	Solid Roof Patio	LDLVAR-2021-3	3/25/2021	Solid Roof Patio
LDLVAR-2024-2	3/28/2024	Solid Roof Patio	LDLVAR-2021-1	3/25/2021	Solid Roof Patio
LDLVAR-2023-55	11/14/2023	Solid Roof Patio	LDLVAR-2020-86	1/28/2021	Solid Roof Patio
LDLVAR-2023-36	9/28/2023	Solid Roof Patio	LDLVAR-2020-80	2/25/2021	Solid Roof Patio
LDLVAR-2023-31	8/24/2023	Solid Roof Patio	LDLVAR-2020-68	12/17/2020	Solid Roof Patio
LDLVAR-2023-28	7/27/2023	Solid Roof Patio	LDLVAR-2020-66	12/17/2020	Solid Roof Patio
LDLVAR-2022-113	2/23/2023	Solid Roof Patio	LDLVAR-2020-65	12/17/2020	Solid Roof Patio
LDLVAR-2022-106	2/23/2023	Solid Roof Patio	LDLVAR-2020-64	12/17/2020	Solid Roof Patio
LDLVAR-2022-102	2/23/2023	Solid Roof Patio	LDLVAR-2020-63	12/17/2020	Solid Roof Patio
LDLVAR-2022-44	7/28/2022	Solid Roof Patio	LDLVAR-2020-56	11/19/2020	SF Home
LDLVAR-2022-28	6/23/2022	Solid Roof Patio	LDLVAR-2020-55	11/19/2020	SF Home
LDLVAR-2022-13	5/26/2022	Solid Roof Patio	LDLVAR-2020-54	11/19/2020	SF Home
LDLVAR-2022-12	4/26/2022	Solid Roof Patio	LDLVAR-2020-52	11/19/2020	Solid Roof Patio
LDLVAR-2022-10	3/28/2022	Solid Roof Patio	LDLVAR-2020-45	11/19/2020	Solid Roof Patio
LDLVAR-2021-139	2/24/2022	Solid Roof Patio	LDLVAR-2020-33	10/22/2020	Solid Roof Patio
LDLVAR-2021-136	2/24/2022	Solid Roof Patio	LDLVAR-2020-12	9/24/2020	Solid Roof Patio
LDLVAR-2021-135	2/24/2022	Solid Roof Patio			

Since 2020 the County has processed and approved roughly 54 variances cases within the Poinciana and Solivita developments, equivalent to 10 cases. Of those 53 cases, 49 have been for primary structure setback reductions for the installation of a solid roof to extend over an existing screened enclosure extension. In numerical value, 93 percent of variances within these developments come in for one universal request. However, Table 1 does not equate for the numerous cases that have been processed through the Building Department without the need for a variance request.

The owner will derive more utility from that space if it is enclosed with screens and covered by a solid roof. While it does confer a special privilege on the applicant, seeking rear yard

setback relief when abutting common areas has become commonplace throughout this development as seen through Table 1. Since this property backs up to open space Tract P-A (Stormwater) and Lots 385, 384, and 381 of Solivita Phase 3A have solid roof coverage over portions of their respective screen enclosures, there is no significant harm that it may cause another property owner.

5. *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

The requested variance is believed to be the minimal variance necessary to optimize the use of the owner's land. The applicant intends to add a solid roof over an existing screen enclosure. The subject site is located within a 55+ community where the fully covered screened enclosure will allow the applicant to enjoy the outdoors under protection.

6. *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;*

Granting this variance will not result in a change of land use. The home will remain a residential use in a residential district of the Planned Development.

7. *Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of this Code; and*

Granting this request is not anticipated to result in the creation of a lot or parcel that does not meet the requirements of the Code. This variance will not change the size, shape, or use of the property.

8. *Whether that the granting of the variance does not circumvent a condition, or the intent of a condition placed on a development by the Planning Commission or the BoCC.*

Granting this request will not circumvent any conditions of approval. It was anticipated that some lots may not be able to comply with all the standards set forth in the Planned Unit Development (PUD) approval. As long as the drainage easements are not encroached upon, this request will not circumvent the Board approvals.

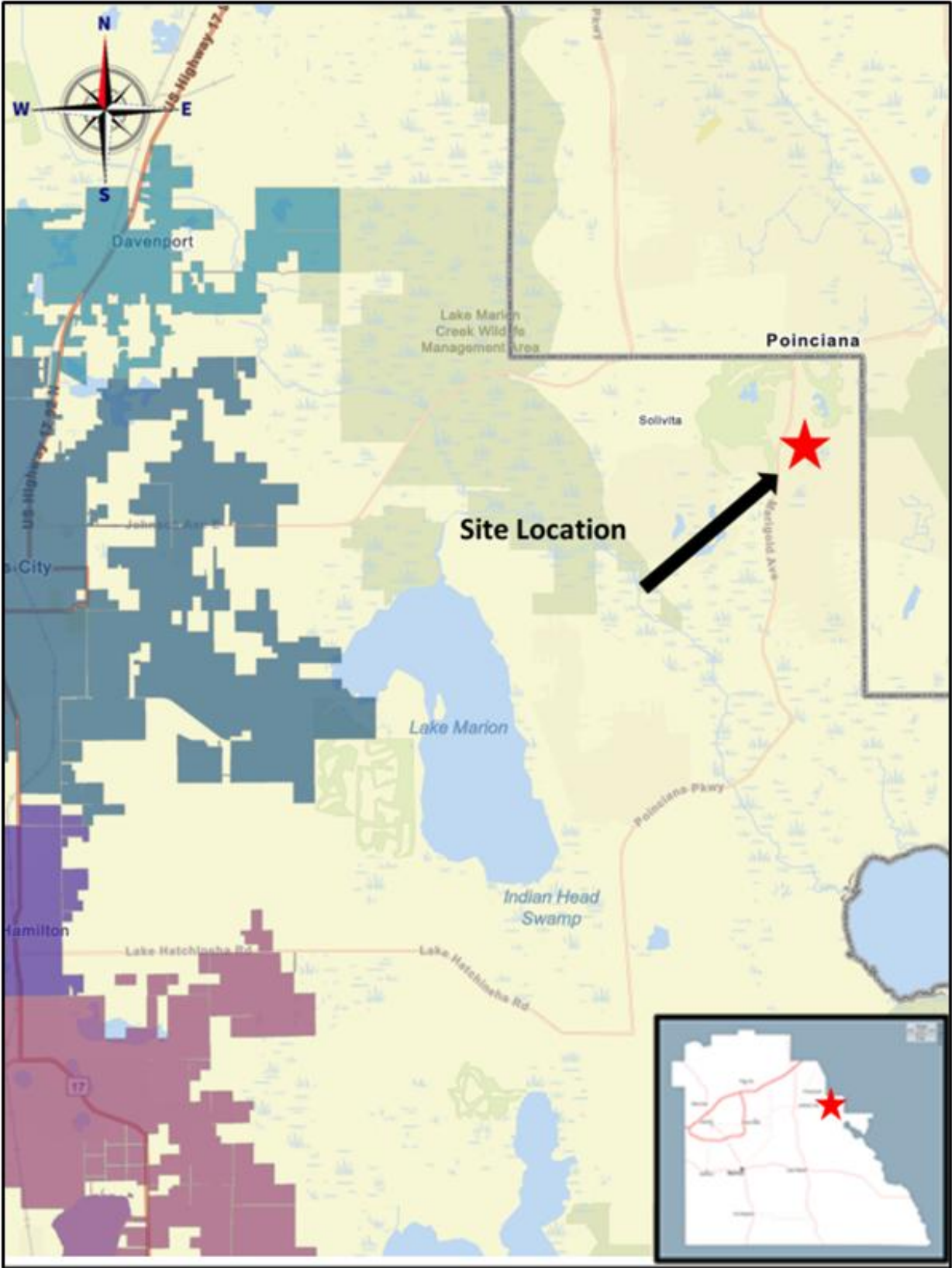
Surrounding Future Land Use Designations and Existing Land Use Activity:

<p>Northwest: Solivita Phase 3A Tract P-A Stormwater pond</p>	<p>North: Solivita Phase 3A Lot 384 2,183 sq. ft. home 0.10 acres</p>	<p>Northeast: Solivita Phase 3A Lot 52 1,678 sq. ft. home 0.10 acres</p>
<p>West: Solivita Phase 3A Tract P-A Stormwater pond</p>	<p>Subject Property: Solivita Phase 3A Lot 383 2,178 sq. ft. home 0.10 acres</p>	<p>East: Solivita Phase 3A Lot 53 2,112 sq. ft. home 0.10 acres</p>
<p>Southwest: Solivita Phase 3A Tract P-A Stormwater pond</p>	<p>South: Solivita Phase 3A Lot 382 2,142 sq. ft. home 0.10 acres</p>	<p>Southeast: Solivita Phase 3A Lot 54 2,136 sq. ft. home 0.15 acres</p>

The property is part of the Poinciana Pre-Development of Regional Impact (DRI) #1 Planned Unit Development (PUD) 98-12, Solivita Phase 3A is single-family homes. This proposed request will provide full coverage over the screened patio. This is not the only property within the immediate surrounding area that would have a solid aluminum roof providing full coverage over an existing screened patio. Tract P-A is located to the rear of the parcel and is identified on the plats as a pond, having no negative impact from the variance request.

Exhibits:

- | | | | |
|-----------|--------------------------|-----------|------------------------|
| Exhibit 1 | Location Map | Exhibit 3 | Aerial Imagery (Close) |
| Exhibit 2 | Aerial Imagery (Context) | Exhibit 4 | Site Plan |
| Exhibit 5 | Justification | | |



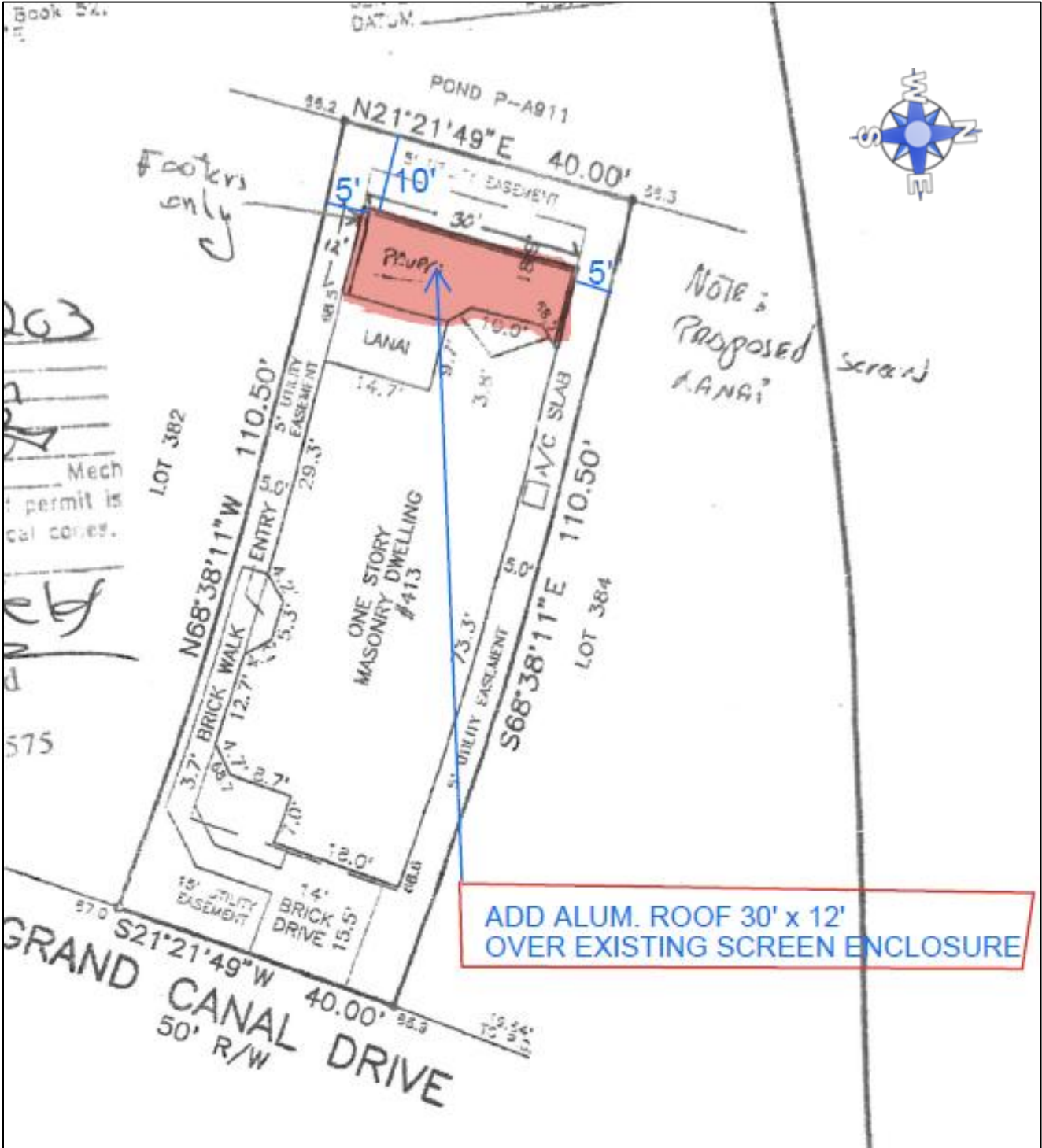
Location Map



Aerial Imagery (Context)



Aerial Imagery (Close)



Site Plan

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?
 This variance will not be injurious to the area involved or detrimental to the public welfare.

What special conditions exist that are peculiar to the land, structure, or building involved?
 There is an existing screen enclosure on an existing concrete slab. We are converting the screen roof to a solid roof. No other special conditions exist that are peculiar to the land, structure, or building involved.

When did you buy the property and when was the structure built? Permit Number?
 Property Bought 2005. Couldn't find permit number

What is the hardship if the variance is not approved?
 The hardship will be a risk to slip and fall due to the current screen roof and the ability to allow rain. This home is located in the 55+ community and is home to the elderly.

Is this the minimum variance required for the reasonable use of the land?
 Yes

Do you have Homeowners Association approval for this request?
 Yes

Justification

413 Grand

Description: Lot 383, Solavita - Phase IIIA
 Recorded in Plat Book 127 Page(s) 10-13 of the Public Records of Polk County, Florida

Bearings and/or areas are assumed
 with the North line of Tract 1, Poinciana
 Neighborhood 3, Block 3, Plat Book 52,
 Pages 12-31, being N88°57'14"E

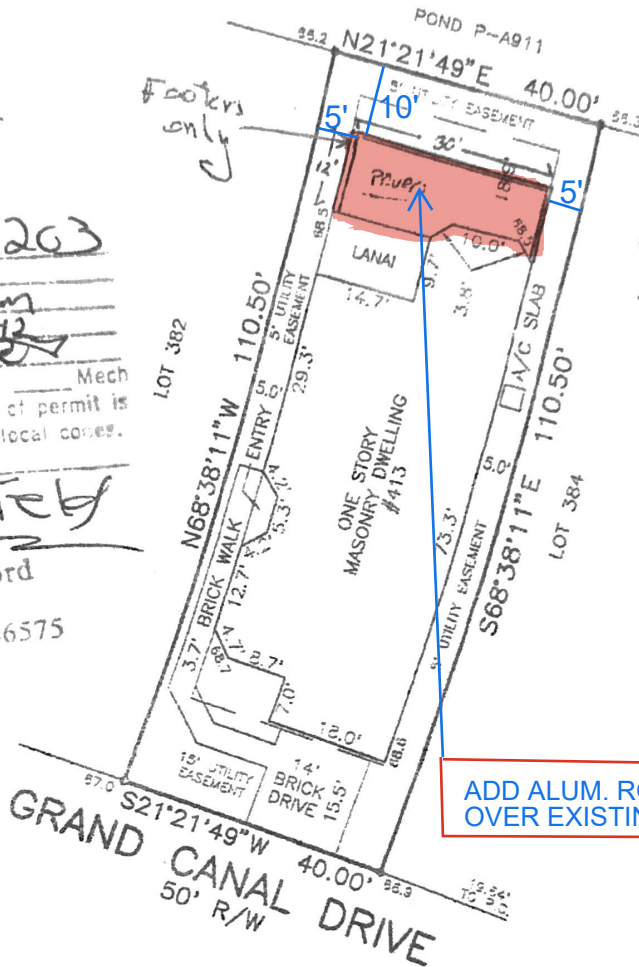
RECOMMENDED F.P. ELEV. 63.75
 FINISHED FLOOR ELEV. 62.10
 CENTERLINE ROAD ELEV. 73.43
 DATUM POLK COUNTY

THIS LOT CONTAINS
 4,420 SF±



POLK COUNTY APPROVED 158203
 Permit No. 158203
 Description: Screen Enclosure
 Contractor: A.B.M.
 Approved On: 3-28-12
 Plans Examined By: [Signature]
 Mech. [Signature]
 The review of this plan and issuance of permit is
 contingent upon compliance with all local codes.

Field
 Rick Gifford
 I.D. #0833
 (863) 534-6575



NOTE:
 Proposed Screen
 A.A.N.A.I?

ADD ALUM. ROOF 30' x 12'
 OVER EXISTING SCREEN ENCLOSURE

- ABBREVIATIONS:
 A.C. = AIR CONDITIONER
 ELEV. = ELEVATION
 F.F. = FINISHED FLOOR
 F.O. = FOUND
 R.O.W. = RIGHT-OF-WAY
 S.F. = SQUARE FEET
 P.C. = POINT OF CURVATURE

- SURVEYORS REPORT:
 1. Easements or rights of way that appear on recorded plans or that have been furnished to the surveyor by others have been incorporated into this drawing with appropriate notation. Other easements may be discovered by a search of the Public Records.
 2. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 3. Based on the Letter of Map Revision Based on Fill, Case No. 04-04-3308A, dated 01/12/2005, for the National Flood Insurance Program Map Nos. 1210500275F and 1210500425F, the above described property has been determined determined to be in Zone "X".
 4. No underground installations or improvements have been located except as noted.
 5. There is no visible evidence on the ground of use of the property which might suggest a possible claim of easement other than those shown on the survey.
 6. Measurement methods used for this survey meet MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING Ch. 61G.7-6 requirements.
 7. Features shown by symbol as indicated in legend are not to scale.
 8. This survey was performed without benefit of a title search. A title search may reveal additional information affecting the Parcel as shown.
 9. Unless shown, only those visible features in the immediate vicinity of the above described Parcel boundary have been located.

Boundary Survey		Date: Sept. 12, 2005 DM	 49350383 SOUTHEASTERN SURVEYING & MAPPING CORP. 8500 An American Boulevard Orlando, Florida 32810-4350 (407) 292-8580 CERT. NO. LB2108 e-mail: info@southeasternsurveying.com <i>Gary B. Krick</i>
FOR		Job No: 49350-383 Scale: 1"=20'	
Stanton I. Thomas, Regina D. Thomas; Avatar Retirement Communities, Inc.; Prominent Title Insurance Agency, Inc.; Lawyers Title Insurance Corporation		LEGEND ○ = Iron Pipe ■ = Concrete Monument ● = Iron Rod Fnd. 5/8" SSMC LB 2108 ⊕ = Nail & Disc	
		Revised: Certification Sept. 14, 2005 DM	GARY B. KRICK REG. CERT. NO. LB 2108

A.H.N.:
 Dottie
 Solavita

Stanton Thomas 914-473-4245
 onebriighton@aol.com

LDLVAR-2026-28 - Thomas - Variance

Menu Reports Help

Application Name: [Thomas - Variance](#)

File Date: [04/06/2026](#)

Application Type: [LUHO - Variance](#)

Application Status: [Approved For Hearing](#)

Application Comments: View ID Comment Date

Description of Work: [Variance to allow 15' rear setback instead of 10' to allow for a Alum. Roof Screen Enclosure 30'x12'](#)

Application Detail: [Detail](#)

Address: [413 GRAND CANAL DR, POINCIANA, FL 34759](#)

Parcel No: [282724934011003830](#)

Owner Name: [THOMAS STANTON I](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	Marcos Davila	MD Construction...	Applicant	Mailing_6656 State Ro...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$541.00](#)

Total Fee Invoiced: [\\$541.00](#)

Balance: [\\$0.00](#)

Custom Fields: LD_GEN_BOA

GENERAL INFORMATION

Expedited Review

Number of Lots

-

Will This Project Be Phased

Acreage

[0.10](#)

DRC Meeting Time

DRC Meeting

[05/14/2026](#)

Rescheduled DRC Meeting

Rescheduled DRC Meeting Time

-

Green Swamp

Number of Units

[No](#)

-

Case File Number

Is this Polk County Utilities

-

One Year Extension

FS 119 Status

[Non-Exempt](#)

-

PUBLIC HEARINGS

Development Type

Application Type

[Land Use Hearing](#)

[Variance](#)

[Officer](#)

Variance Type

Brownfields Request

[Setback for](#)

-

[Pool from](#)

[Seawall or](#)

[Property line](#)

[Affordable Housing](#)

ADVERTISING

Advertising Board

Legal Advertising Date

[Land Use Hearing](#)

-

[Officer](#)

MEETING DATES

LUHO Hearing Date

[06/25/2026](#)

ALCOHOL BEVERAGE DIST REQ

COMMUNICATION TOWER

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?
[This variance will not be injurious to the area involved or detrimental to the public welfare.](#)

What special conditions exist that are peculiar to the land, structure, or building involved?
[There is an existing screen enclosure on an existing concrete slab. We are converting the screen roof to a solid roof. No other special conditions exist that are peculiar to the land, structure, or building involved.](#)

When did you buy the property and when was the structure built? Permit Number?
[Property Bought 2005. Couldn't find permit number](#)

What is the hardship if the variance is not approved?
[The hardship will be a risk to slip and fall due to the current screen roof and the ability to allow rain. This home is located in the 55+ community and is home to the elderly.](#)

Is this the minimum variance required for the reasonable use of the land?
[Yes](#)

Do you have Homeowners Association approval for this request?
[Yes](#)

LD_GEN_BOA_EDL

[Opening DigEplan List...](#)

DigEplan Document List

-

PLAN REVIEW FIELDS

TMPRecordID
[POLKCO-26EST-00000-17033](#)
 RequiredDocumentTypesComplete
[Yes](#)

DocumentGroupforDPC
[DIGITAL PROJECTS LD](#)
 AdditionalDocumentTypes
[Applications, AutoCad File, Binding, Site Plans \(PDs, and CUs\), CSV, Calculations, Correspondence, Design Drawings, Flood/Traffic Studies, Impact Statement, Inspections, Miscellaneous, Plats, Record Drawings, Response Letter Resubmittal Complete, Staff Report/Approval Letter, Survey, Title Opinion](#)
 DigitalSigCheck
[Yes](#)

RequiredDocumentTypes
 -
 Activate DPC

Activate FSA
[Yes](#)

PLAN UPLOAD ACKNOWLEDGEMENT

Upload Plans Acknowledgement
[y](#)

LAND USE

Selected Area Plan LU Code

NOR

[Neighborhood Organization Registry \(NOR\)](#)

PUBLIC MAILERS

Posting Board	Number of Boards (Number)	Number of Mailers (Number)	Date Mailed	Date Posted	NOR
LUHQ	1	34	06/10/2026	06/10/2026	

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Submittal	Lisa Simons-Iri...	Application ...	04/10/2026	Lisa Simons-Iri...
	Roads and Drainage Review	Phil Irven	Approve	04/13/2026	Phil Irven
	Planning Review	Aleya Inglima	Approve	04/22/2026	Aleya Inglima
	Review Consolidation		Approved for...	06/03/2026	Saralis Wons
	Public Notice				
	Hearing Officer				

Record Details

Task	Assigned To	Status	Status Date	Action By
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Final Order
Archive

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
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Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments
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Polk County
Polk County Land Use Hearing Officer

Agenda Item 4.

6/25/2026

SUBJECT

LDLVAR-2026-39 (Lake Buffum Road Variance)

DESCRIPTION

The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet to 12 feet and reduce the southern principal structure side setback from 15 to 6 feet to replace existing covered patios and permit the location of the current mobile home. The subject site is located at 3825 Alturas Babson Park Cutoff Road, west of Lake Buffum Road, southwest of Crews Road, southwest of Lake Wales in Section 29, Township 30, Range 27.

RECOMMENDATION

Approval

FISCAL IMPACT

No Fiscal Impact

CONTACT INFORMATION

Ian Nance
Land Development
(863) 534-7621
ivannance@polkfl.gov

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date	May 14, 2026	CASE #:	LDLVAR-2026-39 (Lake Buffum Road Variance)
LUHO Date	June 25, 2026	LDC Section:	Table 2.2

Request: The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet to 12 feet and reduce the southern principal structure side setback from 15 to 6 feet to replace existing covered patios and permit the location of the current mobile home.

Applicant: Melissa Garcia

Property Owner: Melissa Garcia

Location: 3825 Alturas Babson Park Cutoff Road, west of Lake Buffum Road, southwest of Crews Road, southwest of Lake Wales in Section 29, Township 30, Range 27.

Parcel ID#: 273029-000000-044010

Size: 0.21 +/- acres

Land Use Designation: Agricultural/Residential Rural (A/RR)

Development Area: Rural Development Area (RDA)

Case Planner: Ian Nance

Summary:

****NOTE*** This case was originally heard on January 26, 2023, and approved by the Land Use Hearing Officer. The applicant did not file for the proper building permits within the two-year timeframe imposed through a condition of approval and has re-applied. The variance request and circumstances surrounding the evaluation of the request at that time have not changed.*

The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet to 12 feet and reduce the southern principal structure side setback from 15 to 6 feet to replace existing covered patios and permit the location of the current mobile home. These patios were onsite when the owner purchased the property but were not permitted. The owner wishes to renovate the home but must conform to modern building code standards, which requires replacing these structures and necessitates the variance request. The lot size is small for the A/RR land use district, and the setbacks imposed on the property constitute a burden. The property is an irregular shape along its frontage with Lake Buffum Road which further frustrates meeting the LDC standards.

Staff recommends approval. **Granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area**

involved or otherwise detrimental to the public welfare. These patios will provide safe, covered entrances into the mobile home when other alternatives do not exist.

Development Review Committee

The Development Review Committee, based on the criteria for granting variances, the submitted application, and a recent site visit, finds that the applicant's request as written **IS CONSISTENT** with Section 931 of the Polk County Land Development Code (LDC) and recommends **APPROVAL of LDLVAR-2026-39.**

CONDITIONS OF APPROVAL:

1. Approval of this variance is to reduce the right-of-way principal structure setback from 35 to 12 feet and to reduce the southern side principal structure setback from 15 to 6 feet to replace existing patios and permit the location of the current mobile home, as described in the staff report and shown on the site plan. Further additions or structures placed on the property shall be required to meet the requirements of Chapter 2 of the Polk County Land Development Code or re-apply for another variance approval from the Land Use Hearing Officer.
2. This variance does not authorize any encroachments into easements, and the applicant shall be responsible to make certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.
3. The applicant shall have five (5) years from the date the Land Use Hearing Officer's Final Order is rendered to apply for all necessary building permits and pay all associated fees for the proposed addition.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other interested parties at a public hearing.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submissions of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with the LDC.

**DEMONSTRATIONS OF THE CRITERIA FOR GRANTING VARIANCES
SUMMARIZED BELOW:**

1. *Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

Staff finds this request is in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare. The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet to 12 feet and reduce the southern principal structure side setback from 15 to 6 feet. According to the submitted site plan, the front patio is 8' 8" x 8' 8" and the rear patio is 26' 8" x 8' 4". The property is an unplatted lot with no easements. The applicant is proposing to replace existing patios on the front and to the side of an existing mobile home to provide covered entry into the home. The nearest residential structure to the south is over 45 feet away. The nearest home to the west is approximately 55 feet away. The front patio will be approximately 20 feet from the edge of pavement of Lake Buffum Road and will be 4-5 feet closer than the actual mobile home at its nearest point to this roadway. Carports and covered patios are found elsewhere in this community.

2. *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

The subject property is located in an Agricultural/Residential Rural (A/RR) land use district. Minimum lot sizes in A/RR are five acres with side setbacks for the principal structure of 15 feet and RW setbacks from Rural Minor Collector roadways of 35 feet. The total acreage under the Parcel ID# is 0.21 acres; however, this is split by Lake Buffum Road (*Exhibit 3*). The portion of the property where the mobile home sits is approximately 0.19 acres (+/- 8,275 sq. ft.). This lot size is more reflective of the standards in an RL-3 land use sub-district (min. 10,000 sq. ft.).

In RL-3, the side yard principal structure setback is seven (7) feet. So, the requested reduction to six (6) feet is minimal by comparison. The RW setback to a Rural Minor Collector roadway is still 35 feet, but Lake Buffum Road is not up to County standards. The existing layout of the road is similar to what can be seen in aerial photography dating back to 1941, though it was not paved then. The RW was recorded by the County in December of 1972 (MB 2 PGS 222-239) which bisected the subject property on the rounded bend of Lake Buffum Road where it intersects with Alturas Babson Park Cutoff. The resulting property line is curved and irregular, which will be discussed in more detail below. This makes this property unusual compared with others in the area. Today, the Lake Buffum Road RW is approximately 40-feet-wide with a paved surface width of 22 feet. According to LDC Table 8.2, the minimum RW width for this roadway classification is 80 feet with a paved surface width of 24 feet. So, in its present state, Lake Buffum Road conforms more with a Local Road (40-foot RW & 20-foot paved surface width).

Tying this all together with neither the lot size nor the road widths meeting current standards, the RW setback from a Local roadway in RL-3 is 15 feet. Again, the reduction to 12 feet is minimal in that view.

3. *Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant;*

The applicant purchased the property in February 2022 with the mobile home and patios already in place. Aerial imagery shows a mobile home onsite since 1980. Deeds and other information from the Polk County Property Appraiser show the parcel in its current dimensions dating back to at least 1976 (OR Book 1682 PG 1969). Google Earth imagery shows the front porch appearing in February 2017. The rear patio appears in County aerial imagery in 2020. Permits for these additions have not been located by staff.

The applicant wishes to renovate this mobile home and bring it into compliance. A Renovation Permit was opened on February 23, 2022 but has since expired (BR-2022-2152). Due to the extensive modifications needed for this manufactured home, the certification issued by the Department of Housing and Urban Development (HUD) has been voided, and this home will now be required to be re-constructed according to the current Florida Residential Building Code and the Existing Building Code guidelines for a Level 3 Alteration, according to documentation provided by the Renovation Permit. Among a list of required alterations, the wooden front porch stairs, landing, guardrails, and metal roof are non-code compliant. This variance is required for them to be re-built after demolition.

4. *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant;*

The proposed request is not anticipated to confer on the applicant any special privilege that is denied by the provisions of the Code. A variance is not an entitlement, but any property owner may be considered for a variance if the owner can demonstrate they meet the required criteria. The patios will be attached to the home, as is permitted by LDC Section 208.B.6 and 209.F.

5. *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

The requested variance is believed to be the minimal variance necessary to optimize the use of the owner's land and build the structures as requested. The existing mobile home does not meet current setback requirements, and it would be very difficult to align it to conform with one setback without violating another with the curved RW line. For instance, the mobile home is closest to the RW at the northeast end of the property (+/- 18 feet). Moving it south seventeen feet to meet the RW setback would place it within the abutting property lines. Alternate adjustments could also result in a violation of the rear setback. Likewise, moving it 8-9 feet north to adhere to the side setback (15 feet) would further intrude into the RW.

In short, the mobile home is unlikely to be moved, and the A/RR RW setback is a burden to a property of this size. The septic tank is located to the rear of the home. Functionally, the proposed location of each patio makes the most sense and is designed to provide safe entry into the home. The requested reductions are designed to accommodate the new patios and provide a small measure of "wiggle room" given the unusual property lines.

6. *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;*

Granting this variance will not result in a change of land use. Individual mobile homes and their accessory structures are permitted in A/RR land use districts in accordance with Table 2.1.

7. *Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of this Code; and*

Granting this request is not anticipated to result in the creation of a lot or parcel that does not meet the requirements of the Code.

8. *Whether that the granting of the variance does not circumvent a condition or the intent of a condition placed on a development by the Planning Commission or the BoCC.*

There was no evidence found that suggests the proposed request will circumvent the intent of a condition placed on a development by the Planning Commission or the Board of County Commissioners. This is an unplatted piece of property created prior to the adoption of the LDC or Comprehensive Plan.

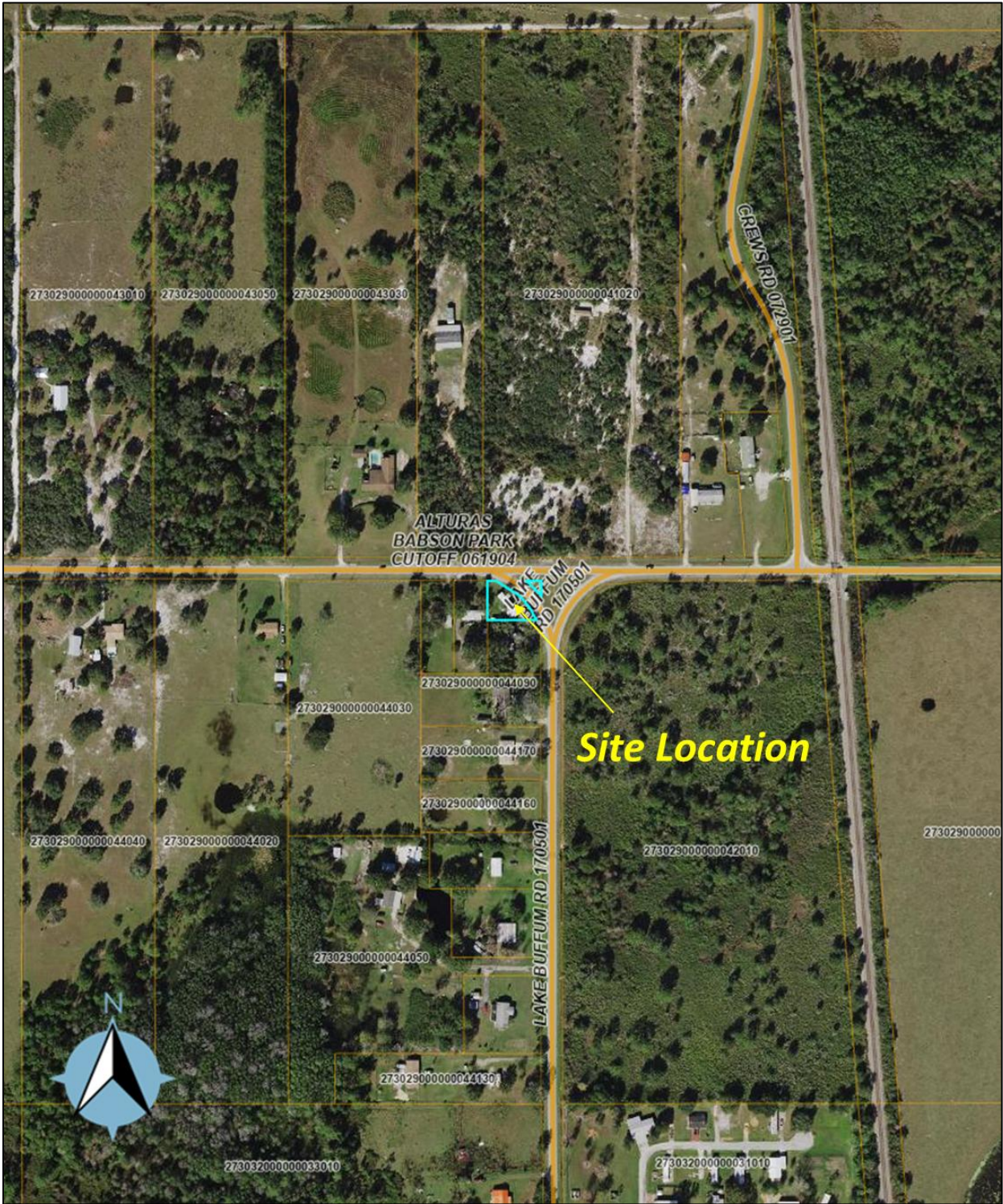
Surrounding Future Land Use Designations and Existing Land Use Activity:

<p>Northwest: A/RR ABC Mobile Home (+/- 4.93 acres)</p>	<p>North: A/RR ABC Vacant (+/- 5.05 acres)</p>	<p>Northeast: A/RR ABC & Lake Buffum Road Mobile Home (+/- 9.74 acres)</p>
<p>West: A/RR Mobile Home (+/- 0.44 acres)</p>	<p>Subject Property: A/RR Mobile Home (+/- 0.21 acres)</p>	<p>East: A/RR Lake Buffum Road Vacant (+/- 20.40 acres)</p>
<p>Southwest: A/RR Mobile Home (+/- 0.44 acres)</p>	<p>South: A/RR Mobile Home (+/- 0.40 acres)</p>	<p>Southeast: A/RR Lake Buffum Road Vacant (+/- 20.40 acres)</p>

The subject property is located on the SW intersection of Alturas Babson Park Cutoff (ABC) and Lake Buffum Road. It is located in an A/RR land use district and does not meet the five-acre minimum lot sizes required here today. This also true for properties to the west and south. The current owner purchase the property in 2022 along with the 1981 Redman Mobile Home found onsite. Mobile homes comprise the majority of the dwelling units in the immediate area.

Exhibits:

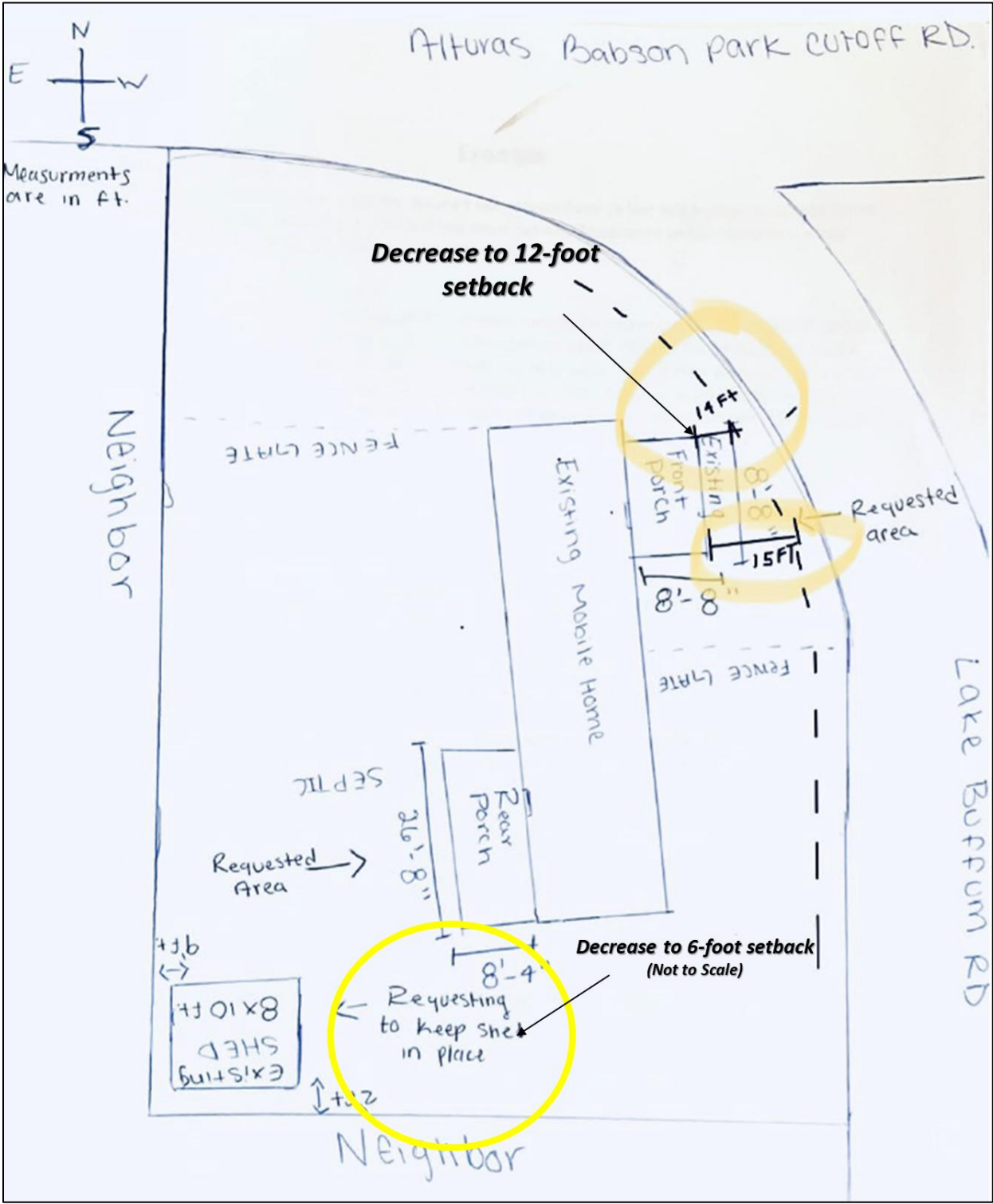
- Exhibit 1 Location Map
- Exhibit 2 Aerial Image – Context
- Exhibit 3 Aerial Image – Close
- Exhibit 4 Site Plan
- Exhibit 5 Section 931 Responses



Aerial Image - Context



Aerial Image – Close



Site Plan

Section 931 Criteria for Granting Variance

Factors to Consider

In order to authorize any variance from the terms of these Land Development Regulations, except variances to Section 303 Communication Towers, the Land Use Hearing Officer shall consider the following factors:

1. Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare; *I believe that my shed along with my front and back porch has no negative affect on my neighbors property.*
2. Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district; *My house has an existing front porch and shed. These were already existing prior the purchase of the home. The house had an unfinished porch that I would like to reconstruct. I like to spend time out side in the shade; the property little to no shade & very little room.*
3. Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant; *I would like to keep the porch (front + back) and the shed that's located in the back yard. Since the property is small and has limited space a porch will give a desirable area to pass time. The shed gives a needed storage area for a lawn mower.*
4. Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant; *If requested denied, It will take away a small privilege to enjoy the small limited amount of space that is available within the property.*
5. Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure; *If variance not accepted I will have to find the need to tear down the front porch that was already built and get rid of a shed that provide storage space that is needed.*
6. Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation; *NO, ~~we~~ I am not requesting a land use change.*
7. Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of the Code; and *I am not creating a new lot or subdividing the land.*
8. Whether that the granting of the variance does not circumvent a condition of the intent of a condition placed on a development by the Planning Commission or the BoCC. *There are no conditions placed by the BoCC that I know of and should not be affected by the variance.*

(2) This will give me access to have extra space to store and a nice shaded spot to enjoy.

Section 931 Responses



ALTURAS
BABSON PARK
CUTOFF 061904

Front Patio
Reduce to 12 Feet
Built +/- 2017

LAKE BUFFUM RD 170501

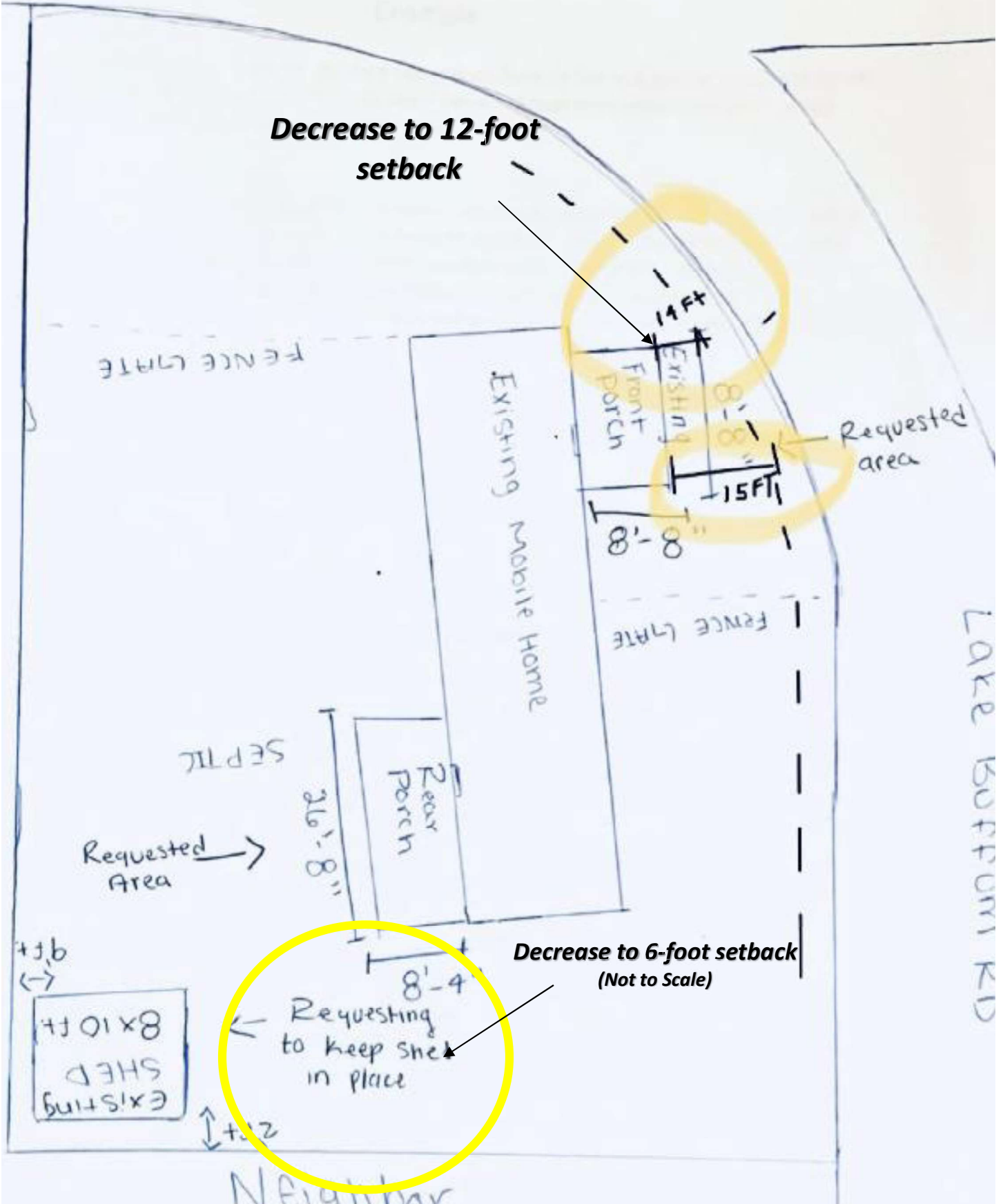
3825
273029000000044010

Site Location

Rear Patio
Reduce to 6 Feet
Built +/- 2020

273029000000044100
#4030





Section 931 Criteria for Granting Variance

Factors to Consider

In order to authorize any variance from the terms of these Land Development Regulations, except variances to Section 303 Communication Towers, the Land Use Hearing Officer shall consider the following factors:

1. Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare; I believe that my shed along with my front and back porch has no negative affect on my neighbors property.
2. Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district; My house has an existing front porch and shed. These were already existing prior the purchase of the home. The house had an unfinish porch that I would like to reconstruct. I like to spend time outside in the shade; the property little to no shade & very little room.
3. Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant; I would like to keep the porch (front & back) and the shed that's located in the back yard. Since the property is small and has limited space a porch will give a desirable area to pass time. The shed gives a needed storage area for tools and a lawn mower.
4. Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant; If requested denied, it will take away a small privilege to enjoy the small limited amount of space that is available within the property.
5. Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure; If variance not accepted I will have to find the need to tear down the front porch that was already built and get rid of a shed that provide storage space that is needed.
6. Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;
NO, ~~we are~~ I am not requesting a land use change.
7. Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of the Code; and
I am not creating a new lot or subdividing the land.
8. Whether that the granting of the variance does not circumvent a condition of the intent of a condition placed on a development by the Planning Commission or the BoCC.
There are no conditions placed by the BoCC that I know of and should not be affected by the variance.

(2) This will give me access to have extra space to store and a nice shaded spot to enjoy.

LDLVAR-2026-39 - Garcia Variance

Menu Reports Help

Application Name: [Garcia Variance](#)

File Date: [06/01/2026](#)

Application Type: [LUHO - Variance](#)

Application Status: [In Review](#)

Application Comments: View ID Comment Date

Description of Work: [Seeking a variance to renovate front porch and back porch. Also would like to keep the shed in the same exact place as it in prior the purchase of property. Location is as in the architectural plans of the property.](#)

Application Detail: [Detail](#)

Address: [3825 ALTURAS BABSON PARK CUTOFF RD, LAKE WALES, FL 33859](#)

Parcel No: [27302900000044010](#)

Owner Name: [Melissa Garcia](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	Melissa Garcia		Applicant	Mailing_9865 LAKE BUF...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$541.00](#)

Total Fee Invoiced: [\\$541.00](#)

Balance: [\\$0.00](#)

Custom Fields: LD_GEN_BOA

GENERAL INFORMATION

Expedited Review	Number of Lots	-
Will This Project Be Phased	Acreage	0.21
DRC Meeting Time	DRC Meeting	05/14/2026
Rescheduled DRC Meeting	Rescheduled DRC Meeting Time	-
Green Swamp	Number of Units	-
Case File Number	Is this Polk County Utilities	-
One Year Extension	FS 119 Status	Non-Exempt

PUBLIC HEARINGS

Development Type	Application Type	Variance
Land Use Hearing	Brownfields Request	-
Officer		
Variance Type		
Dimensions		
Table		
Affordable Housing		

ADVERTISING

Advertising Board	Legal Advertising Date	-
Land Use Hearing		
Officer		

MEETING DATES

LUHO Hearing Date	
06/25/2026	

ALCOHOL BEVERAGE DIST REQ

COMMUNICATION TOWER

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?
[see attached](#)

What special conditions exist that are peculiar to the land, structure, or building involved?
[see attached](#)

When did you buy the property and when was the structure built? Permit Number?
[see attached](#)

What is the hardship if the variance is not approved?
[see attached](#)

Is this the minimum variance required for the reasonable use of the land?
[see attached](#)

Do you have Homeowners Association approval for this request?
[see attached](#)

LD_GEN_BOA_EDL

[Opening DigEplan List...](#)

DigEplan Document List
[Open](#)

PLAN REVIEW FIELDS

TMPRecordID
[POLKCO-REC26-00000-00M88](#)
 RequiredDocumentTypesComplete
[No](#)

DocumentGroupforDPC
[DIGITAL PROJECTS LD](#)
 AdditionalDocumentTypes
 RequiredDocumentTypes
 - Activate DPC
[Applications, AutoCad File, Binding, Site Plans \(PDs, Yes and CUs\), CSV, Calculations, Correspondence, Design Drawings, Flood/Traffic Studies, Impact Statement, Inspections, Miscellaneous, Plats, Record Drawings, Response Letter Resubmittal Complete, Staff Report/Approval Letter Survey, Title Opinion](#)
 DigitalSigCheck
[Yes](#)

Activate FSA
[Yes](#)

LAND USE

Selected Area Plan LU Code

NOR

Neighborhood Organization Registry (NOR)

PUBLIC MAILERS

Posting Board	Number of Boards (Number)	Number of Mailers (Number)	Date Mailed	Date Posted	NOR
LUHO	1	26	06/10/2026	06/10/2026	

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Submittal		Application ...	06/05/2026	Saralis Wons
	Roads and Drainage Review	Phil Irven	Approve	06/08/2026	Phil Irven
	Planning Review	Ivan Nance			
	Review Consolidation				
	Public Notice				
	Hearing Officer				
	Final Order				
	Archive				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
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Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments

330 West Church Street
PO Box 9005 • Drawer GM03
Bartow, Florida 33831-9005



PHONE: 863-534-6792
FAX: 863-534-6407
www.polk-county.net

LAND DEVELOPMENT DIVISION

Land Development Division
Benjamin J. Ziskal, AICP, CEcD, Director

February 3, 2023

Melissa Garcia
3825 Alturas Babson Park Cutoff Rd.
Lake Wales, Florida 33859

RE: Land Use Hearing Officer Final Order for LDLVAR-2022-49 – Garcia Variance

Dear: Sir/Madam

Please find enclosed the Land Use Hearing Officer's Final Order for LDLVAR-2022-49. You will need this Final Order to apply or to continue with your building permit application. Should you have an opened Code Enforcement Case, please supply a copy of this Final Order to your Code's Investigator. Feel free to contact the Land Development Division at 863-534-6449 should you have any questions.

Sincerely,

Lisa Irizarry

Lisa Simons-Irizarry
Development Coordinator II
Board of County Commissioners
Land Development Division
330 West Church Street
Bartow, FL 33830
863-534-7652

OFFICE OF THE POLK COUNTY LAND USE HEARING OFFICER
FINAL ORDER

Case No.: LDLVAR-2022-49
Case Name: Garcia Variance
Applicant: Melissa Garcia
Owner: Melissa Garcia
Location: 3825 Alturas Babson Park Cutoff Road, west of Lake Buffum Road, southwest of Crews Road, southwest of Lake Wales in Section 29, Township 30, Range 27.
Parcel ID#: 273029-000000-044010
Size: 0.21 +/- acres
Land Use Designation: Agricultural/Residential Rural (A/RR)
Development Area: Rural Development Area (RDA)
Hearing Date: January 26, 2023

I. Request: The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet, as per Section 208, Table 2.2 of the Code, to 12 feet and to reduce the southern principal structure side setback from 15 to 6 feet to replace existing covered patios and to renovate the existing mobile home.

II. Hearing Officer Decision:

APPROVAL, subject to the conditions set forth in Section V.

III. Discussion and Factors Considered:

A variance is a departure from the Polk County Land Development Code (“Code”) relating to building and other structural setbacks, dimensional requirements and other similar regulations as per Code Section 930. Variances must be approved by the Hearing Officer based on the criteria established in Section 931 of the Code. The Hearing Officer has the authority to grant or deny variances from the Code where there is no other form of relief available. In reaching a decision, the Hearing Officer may attach appropriate conditions, restrictions and safeguards necessary for the health, safety, comfort, convenience, and welfare of the general public.

The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet, as per Section 208, Table 2.2 of the Code, to 12 feet and to reduce the southern principal structure side setback from 15 to 6 feet to replace existing covered patios and to renovate the existing mobile home.

As per Section 931 of the Code, the Hearing Officer has considered the findings of the staff report, testimony, and exhibits presented during the hearing and has made the required determinations for the following factors:

- a) *Whether granting the variance will be in accordance with the general intent and purpose of the Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.*

Granting this variance, as conditioned, is in accordance with the general intent and purpose of the Code. Carports and covered patios are typical residential structures that are permitted accessory uses in the Code. The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet to 12 feet and reduce the southern principal structure side setback from 15 to 6 feet. This is necessary as the accessory patios will be attached to the principal structure. According to the submitted site plan, the front patio is 8' 8" x 8' 8" and the rear patio is 26' 8" x 8' 4". The property is an unplatted lot with no easements. The applicant is proposing to replace existing patios on the front and to the side of an existing mobile home to provide covered entry into the home.

According to staff, the nearest residential structure to the south is over 45 feet away. The nearest home to the west is approximately 55 feet away. The front patio will be approximately 20 feet from the edge of pavement of Lake Buffum Road, and will be only 4-5 feet closer than the actual mobile home at its nearest point to this roadway. Staff testified at the hearing that proposed location of the front patio will not pose a hazard to the traveling public. Given the foregoing, there is no evidence to suggest that the variance, if approved, would be injurious to surrounding homeowners or otherwise be detrimental to the public welfare of the neighborhood.

- b) *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district.*

There are special conditions that exist that are particular to the property. The subject property is located in the Agricultural/Residential Rural (A/RR) land use district. Minimum lot sizes in A/RR are five acres with side setbacks for the principal structure of 15 feet and RW setbacks from Rural Minor Collector roadways of 35 feet. The total acreage under the Parcel ID# is 0.21 acres, however, the property is bisected by Lake Buffum Road (see Staff Report Exhibit 3). The portion of the property where the mobile home sits is approximately 0.19 acres (+/- 8,275 sq. ft.). This lot size is more reflective of the standards in an RL-3 land use sub-district (min. 10,000 sq. ft.). In RL-3, the side yard principal structure setback is seven (7) feet. So, the requested reduction to six (6) feet is minimal by comparison. The RW setback to a Rural Minor Collector roadway is still 35 feet, but Lake Buffum Road is not up to County standards. According to staff, the existing layout of the road is similar to what can be seen in aerial photography dating back to 1941, though it was not paved then. The RW was recorded by the County in December of 1972 (MB 2 PGS 222-239) which bisected the subject property on the rounded bend of Lake Buffum Road where it intersects with Alturas Babson

Park Cutoff. The resulting property line is curved and irregular, with only three sides and leaving a portion of the property across the street. This makes this property unusual compared with others in the area. Today, the Lake Buffum Road RW is approximately 40-feet-wide with a paved surface width of 22 feet. According to Table 8.2 of the Code, the minimum right-of-way width for this roadway classification is 80 feet with a paved surface width of 24 feet. So, in its present state, Lake Buffum Road conforms more with a Local Road (40-foot right-of-way & 20-foot paved surface width).

Given the foregoing, neither the lot size nor the adjacent right of way width meet current County standards.

- c) *Whether the special conditions and circumstances present in the request do not result from the actions of the applicant.*

The special conditions present on the property are not a result of the applicant's actions. According to staff, the applicant purchased the property in February 2022 with the mobile home and patios already in place. Aerial imagery shows a mobile home onsite since 1980. Deeds and other information from the Polk County Property Appraiser show the parcel in its current dimensions dating back to at least 1976 (OR Book 1682 PG 1969). Google Earth imagery shows the front porch appearing in February 2017. The rear patio appears in County aerial imagery in 2020. Permits for these additions have not been located by staff. Thus, the applicant did not create the lot nor place the mobile home or patios on the lot.

The applicant wishes to renovate this mobile home in addition to repairing the existing patios. A Renovation Permit was opened on February 23, 2022 but has since expired (BR-2022-2152). Due to the extensive modifications needed for this manufactured home, the certification issued by the Department of Housing and Urban Development (HUD) has been voided, and this home will now be required to be re-constructed according to the current 2020 Florida Residential Building Code and the Existing Building Code guidelines for a Level 3 Alteration, according to documentation provided by the Renovation Permit. Among a list of required alterations, the wooden front porch stairs, landing, guardrails, and metal roof are not Code compliant. This variance is required for them to be re-built after demolition in the same location.

- d) *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant.*

The proposed request is not anticipated to confer on the applicant any special privilege that is denied by the provisions of the Code. Section 930 of the Code allows for a variance to dimensional requirements with the approval of the Land Use Hearing Officer. Any property owner is eligible for a reduction in setbacks if their request is approved by the Land Use Hearing Officer. As stated above, covered patios are allowable accessory uses for residential homes. Staff indicated in the Staff Report that many homes in this area have patios and carports. This variance will merely allow the

applicant to put back what was there before the renovation to bring the residence up to Code is complete.

Further, according to the applicant's testimony at the hearing, if this variance were denied it would result in an unnecessary hardship on the applicant. The applicant testified that the patio in the front is needed for covered access into the front door. This will provide proper shelter in inclement weather when trying to access the home. In addition, the covered patio in the back is necessary as the mobile home does not have a laundry room and due to the small size of the home, the washer and dryer will need to be located outside under the covered back patio. Further, there are no trees in the back yard, so the patio will provide shelter from the elements and shade.

- e) *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.*

The requested variance is the minimum variance needed in order to allow for the patios to be attached to the mobile home after renovation. The existing mobile home does not meet current setback requirements, and it would be very difficult to align it to conform with one setback without violating another with the curved RW line. For instance, the mobile home is closest to the RW at the northeast end of the property (+/- 18 feet). Moving it south seventeen feet to meet the RW setback would place it within the abutting property lines. Alternate adjustments could also result in a violation of the rear setback. Likewise, moving it 8-9 feet north to adhere to the side setback (15 feet) would further intrude into the RW.

In short, the mobile home is unlikely to be moved, and the A/RR RW setback is a burden to a property of this size. The septic tank is located to the rear of the home. Functionally, the proposed location of each patio makes the most sense and is designed to provide safe entry into the home. The requested reductions are designed to accommodate the new patios and provide a small measure of "wiggle room" given the unusual property lines.

- f) *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation.*

Granting this variance will not result in a change of land use.

- g) *Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of this Code.*

Granting the variance will not result in the creation of a residual lot or parcel that does not meet the requirements of the Code.

- h) *Whether the granting of the variance does not circumvent a condition or the intent of a condition placed on a development by the Planning Commission or the Polk County Board of County Commissioners.*

The Hearing Officer knows of no condition of the Planning Commission or Board of County Commissioners on this property that would be circumvented should the variance request be approved. This is an unplatted piece of property created prior to the adoption of the Code or Comprehensive Plan.

IV. Findings and Conclusions:

Based upon the staff report, the testimony and exhibits presented during the hearing, and the foregoing discussion and considerations, the Hearing Officer finds and concludes pursuant to Section 931 of the Polk County Land Development Code:

- a) The requested variance is in accordance with the general intent and purpose of the Code and will not be injurious to the area involved or otherwise detrimental to the public welfare.
- b) Special conditions and circumstances exist that are peculiar to the property that are not applicable to other properties in the area.
- c) The special conditions and circumstances are not a result of the applicant's actions.
- d) Granting the requested variance will not confer on the applicant special privilege that is denied by the Code and unnecessary and undue hardship on the applicant would result if the variance were not granted.
- e) The variance requested is the minimum variance that makes possible the use of the property to accommodate the mobile home and patios proposed.
- f) The requested variance will not result in a change of land use.
- g) The variance requested will not result in the creation of a residual lot or parcel that does not meet the requirements of the Code.
- h) The granting of the variance will not circumvent a condition or the intent of a condition as per the Planning Commission or the Polk County Board of County Commissioners.

V. Conditions of Approval:

1. The approval of this variance is for the reduction of the right-of-way principal structure setback from 35 feet to 12 feet and the southern side principal structure setback from 15 to 6 feet to replace existing patios and renovate the existing mobile home, as described in the Staff Report and shown on the Site Plan (Staff Report, Exhibit 4). Further additions or structures placed on the property shall be required to meet the setback requirements of Chapter 2 of the Polk County Land Development Code or apply for a variance.

2. This variance does not authorize any encroachments into easements, and the applicant shall be responsible to make certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record

pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.

3. The applicant shall have two (2) years from the date this Final Order is rendered to apply for all necessary building permits and pay all associated fees for the proposed additions.

VI. Participants:

Staff: Ian Nance

Applicant's Representative(s): Melissa Garcia

Public Participants: None

VII. Exhibits Submitted at Hearing:

Staff Exhibits

1. *Staff Report with attachments: Prepared by Ian Nance and dated January 26, 2023.*
2. *Staff Power Point Presentation dated January 26, 2023.*

Applicant Exhibits: None

VIII. Appeals:

This Decision becomes final on the date rendered. A Hearing Officer Decision may be appealed to the 10th Judicial Circuit Court of Polk County by filing an appropriate petition with the Clerk of Court within thirty (30) days after this Decision is rendered.

IX. Copies of Case File and Recordings:

Every hearing is recorded. Recordings are public records that become part of the case file maintained by the Polk County Land Development Division. The case file and recordings are available for examination and copying by contacting the Clerk of the Land Use Hearing Officer located in the County's Land Development Division at (863)534-6792.

X. Development Permit Issuance:

Issuance of a development permit by Polk County does not in any way create rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

This Decision is rendered February 2, 2023.

/s/ Neysa Borkert

NEYSA J. BORKERT
POLK COUNTY LAND USE HEARING OFFICER

Exhibits to Hearing Officer Order

Exhibit A- Staff Report and Exhibits for LDVAR-2022-49 Dated January 26, 2023

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date	July 14, 2022	CASE #:	LDLVAR-2022-49 (Garcia Variance)
LUHO Date	January 26, 2023	LDC Section:	Table 2.2

Request: The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet to 12 feet and reduce the southern principal structure side setback from 15 to 6 feet to replace existing covered patios and permit the location of the current mobile home.

Applicant: Melissa Garcia

Property Owner: Melissa Garcia

Location: 3825 Alturas Babson Park Cutoff Road, west of Lake Buffum Road, southwest of Crews Road, southwest of Lake Wales in Section 29, Township 30, Range 27.

Parcel ID#: 273029-000000-044010

Size: 0.21 +/- acres

Land Use Designation: Agricultural/Residential Rural (A/RR)

Development Area: Rural Development Area (RDA)

Case Planner: Ian Nance

Summary:

The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet to 12 feet and reduce the southern principal structure side setback from 15 to 6 feet to replace existing covered patios and permit the location of the current mobile home. These patios were onsite when the owner purchased the property but were not permitted. The owner wishes to renovate the home but must conform to modern building code standards, which requires replacing these structures and necessitates the variance request. The lot size is small for the A/RR land use district, and the setbacks imposed on the property constitute a burden. The property is an irregular shape along its frontage with Lake Buffum Road which further frustrates meeting the LDC standards.

Staff recommends approval. **Granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare.** These patios will provide safe, covered entrances into the mobile home when other alternatives do not exist.

Development Review Committee

The Development Review Committee, based on the criteria for granting variances, the submitted application, and a recent site visit, finds that the applicant's request as written **IS CONSISTENT** with Section 931 of the Polk County Land Development Code (LDC) and recommends **APPROVAL of LDLVAR-2022-49**.

CONDITIONS OF APPROVAL:

1. Approval of this variance is to reduce the right-of-way principal structure setback from 35 to 12 feet and to reduce the southern side principal structure setback from 15 to 6 feet to replace existing patios and permit the location of the current mobile home, as described in the staff report and shown on the site plan. Further additions or structures placed on the property shall be required to meet the requirements of Chapter 2 of the Polk County Land Development Code or re-apply for another variance approval from the Land Use Hearing Officer.
2. This variance does not authorize any encroachments into easements, and the applicant shall be responsible to make certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.
3. The applicant shall have two (2) years from the date the Land Use Hearing Officer's Final Order is rendered to apply for all necessary building permits and pay all associated fees for the proposed addition.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other interested parties at a public hearing.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submissions of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with the LDC.

**DEMONSTRATIONS OF THE CRITERIA FOR GRANTING VARIANCES
SUMMARIZED BELOW:**

1. *Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

Staff finds this request is in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare. The applicant is requesting to reduce the principal structure right-of-way setback from 35 feet to 12 feet and reduce the southern principal structure side setback from 15 to 6 feet. According to the submitted site plan, the front patio is 8' 8" x 8' 8" and the rear patio is 26' 8" x 8' 4". The property is an unplatted lot with no easements. The applicant is proposing to replace existing patios on the front and to the side of an existing mobile home to provide covered entry into the home. The nearest residential structure to the south is over 45 feet away. The nearest home to the west is approximately 55 feet away. The front patio will be approximately 20 feet from the edge of pavement of Lake Buffum Road, and will be only 4-5 feet closer than the actual mobile home at its nearest point to this roadway. Carports and covered patios are found elsewhere in this community.

2. *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

The subject property is located in an Agricultural/Residential Rural (A/RR) land use district. Minimum lot sizes in A/RR are five acres with side setbacks for the principal structure of 15 feet and RW setbacks from Rural Minor Collector roadways of 35 feet. The total acreage under the Parcel ID# is 0.21 acres; however, this is split by Lake Buffum Road (*Exhibit 3*). The portion of the property where the mobile home sits is approximately 0.19 acres (+/- 8,275 sq. ft.). This lot size is more reflective of the standards in an RL-3 land use sub-district (min. 10,000 sq. ft.).

In RL-3, the side yard principal structure setback is seven (7) feet. So, the requested reduction to six (6) feet is minimal by comparison. The RW setback to a Rural Minor Collector roadway is still 35 feet, but Lake Buffum Road is not up to County standards. The existing layout of the road is similar to what can be seen in aerial photography dating back to 1941, though it was not paved then. The RW was recorded by the County in December of 1972 (MB 2 PGS 222-239) which bisected the subject property on the rounded bend of Lake Buffum Road where it intersects with Alturas Babson Park Cutoff. The resulting property line is curved and irregular, which will be discussed in more detail below. This makes this property unusual compared with others in the area. Today, the Lake Buffum Road RW is approximately 40-feet-wide with a paved surface width of 22 feet. According to LDC Table 8.2, the minimum RW width for this roadway classification is 80 feet with a paved surface width of 24 feet. So, in its present state, Lake Buffum Road conforms more with a Local Road (40-foot RW & 20-foot paved surface width).

Tying this all together with neither the lot size nor the road widths meeting current standards, the RW setback from a Local roadway in RL-3 is 15 feet. Again, the reduction to 12 feet is minimal in that view.

3. *Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant;*

The applicant purchased the property in February 2022 with the mobile home and patios already in place. Aerial imagery shows a mobile home onsite since 1980. Deeds and other information from the Polk County Property Appraiser show the parcel in its current dimensions dating back to at least 1976 (OR Book 1682 PG 1969). Google Earth imagery shows the front porch appearing in February 2017. The rear patio appears in County aerial imagery in 2020. Permits for these additions have not been located by staff.

The applicant wishes to renovate this mobile home and bring it into compliance. A Renovation Permit was opened on February 23, 2022 but has since expired (BR-2022-2152). Due to the extensive modifications needed for this manufactured home, the certification issued by the Department of Housing and Urban Development (HUD) has been voided, and this home will now be required to be re-constructed according to the current 2020 Florida Residential Building Code and the Existing Building Code guidelines for a Level 3 Alteration, according to documentation provided by the Renovation Permit. Among a list of required alterations, the wooden front porch stairs, landing, guardrails, and metal roof are non-code compliant. This variance is required for them to be re-built after demolition.

4. *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant;*

The proposed request is not anticipated to confer on the applicant any special privilege that is denied by the provisions of the Code. A variance is not an entitlement, but any property owner may be considered for a variance if the owner can demonstrate they meet the required criteria. The patios will be attached to the home, as is permitted by LDC Section 208.B.6 and 209.F.

5. *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

The requested variance is believed to be the minimal variance necessary to optimize the use of the owner's land and build the structures as requested. The existing mobile home does not meet current setback requirements, and it would be very difficult to align it to conform with one setback without violating another with the curved RW line. For instance, the mobile home is closest to the RW at the northeast end of the property (+/- 18 feet). Moving it south seventeen feet to meet the RW setback would place it within the abutting property lines. Alternate adjustments could also result in a violation of the rear setback. Likewise, moving it 8-9 feet north to adhere to the side setback (15 feet) would further intrude into the RW.

In short, the mobile home is unlikely to be moved, and the A/RR RW setback is a burden to a property of this size. The septic tank is located to the rear of the home. Functionally, the proposed location of each patio makes the most sense and is designed to provide safe entry into the home. The requested reductions are designed to accommodate the new patios and provide a small measure of "wobble room" given the unusual property lines.

6. *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;*

Granting this variance will not result in a change of land use. Individual mobile homes and their accessory structures are permitted in A/RR land use districts in accordance with Table 2.1.

7. *Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of this Code; and*

Granting this request is not anticipated to result in the creation of a lot or parcel that does not meet the requirements of the Code.

8. *Whether that the granting of the variance does not circumvent a condition or the intent of a condition placed on a development by the Planning Commission or the BoCC.*

There was no evidence found that suggests the proposed request will circumvent the intent of a condition placed on a development by the Planning Commission or the Board of County Commissioners. This is an unplatted piece of property created prior to the adoption of the LDC or Comprehensive Plan.

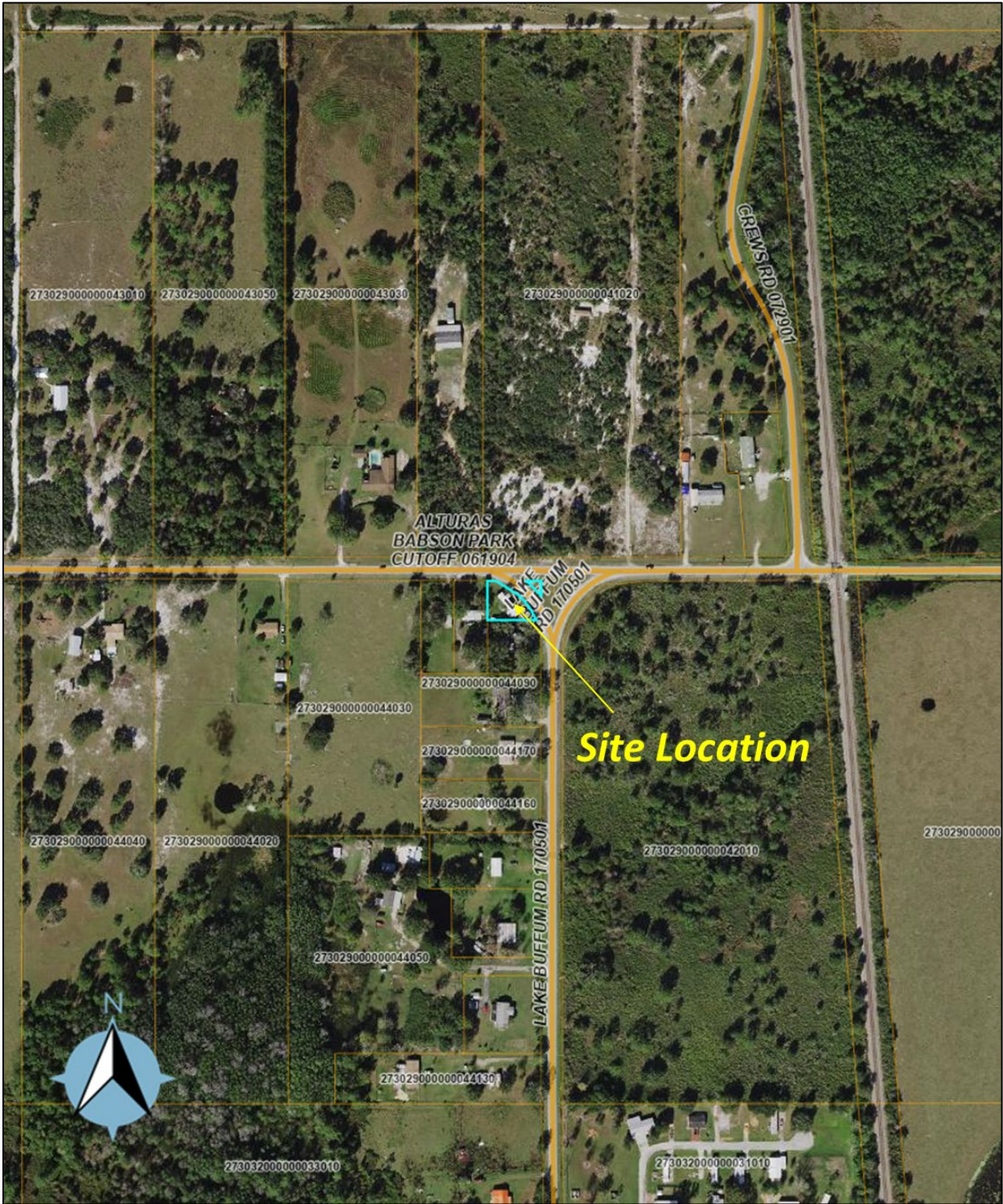
Surrounding Future Land Use Designations and Existing Land Use Activity:

<p>Northwest: A/RR ABC Mobile Home (+/- 4.93 acres)</p>	<p>North: A/RR ABC Vacant (+/- 5.05 acres)</p>	<p>Northeast: A/RR ABC & Lake Buffum Road Mobile Home (+/- 9.74 acres)</p>
<p>West: A/RR Mobile Home (+/- 0.44 acres)</p>	<p>Subject Property: A/RR Mobile Home (+/- 0.21 acres)</p>	<p>East: A/RR Lake Buffum Road Vacant (+/- 20.40 acres)</p>
<p>Southwest: A/RR Mobile Home (+/- 0.44 acres)</p>	<p>South: A/RR Mobile Home (+/- 0.40 acres)</p>	<p>Southeast: A/RR Lake Buffum Road Vacant (+/- 20.40 acres)</p>

The subject property is located on the SW intersection of Alturas Babson Park Cutoff (ABC) and Lake Buffum Road. It is located in an A/RR land use district and does not meet the five-acre minimum lot sizes required here today. This also true for properties to the west and south. The current owner purchase the property in 2022 along with the 1981 Redman Mobile Home found onsite. Mobile homes comprise the majority of the dwelling units in the immediate area.

Exhibits:

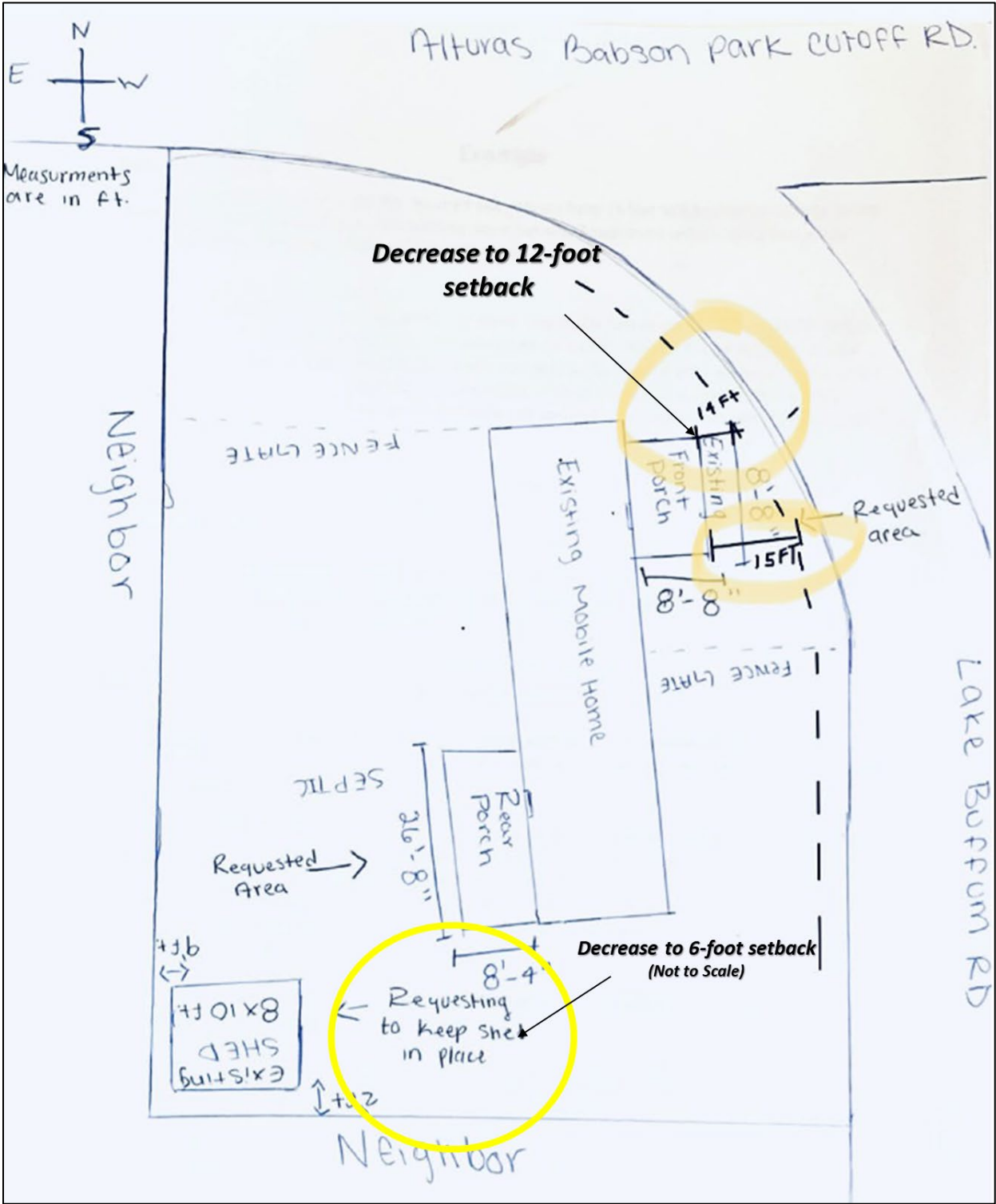
- Exhibit 1 Location Map
- Exhibit 2 2020 Aerial Image – Context
- Exhibit 3 2020 Aerial Image – Close
- Exhibit 4 Site Plan
- Exhibit 5 Section 931 Responses



2020 Aerial Image - Context



2020 Aerial Image – Close



Site Plan

Section 931 Criteria for Granting Variance

Factors to Consider

In order to authorize any variance from the terms of these Land Development Regulations, except variances to Section 303 Communication Towers, the Land Use Hearing Officer shall consider the following factors:

1. Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare; *I believe that my shed along with my front and back porch has no negative affect on my neighbors property.*
2. Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district; *My house has an existing front porch and shed. These were already existing prior the purchase of the home. The house had an unfinished porch that I would like to reconstruct. I like to spend time out side in the shade; the property little to no shade & very little room.*
3. Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant; *I would like to keep the porch (front + back) and the shed that's located in the back yard. Since the property is small and has limited space a porch will give a desirable area to pass time. The shed gives a needed storage area for a lawn mower.*
4. Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant; *If requested denied, It will take away a small privilege to enjoy the small limited amount of space that is available within the property.*
5. Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure; *If variance not accepted I will have to find the need to tear down the front porch that was already built and get rid of a shed that provide storage space that is needed.*
6. Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation; *NO, ~~we~~ I am not requesting a land use change.*
7. Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of the Code; and *I am not creating a new lot or subdividing the land.*
8. Whether that the granting of the variance does not circumvent a condition of the intent of a condition placed on a development by the Planning Commission or the BoCC. *There are no conditions placed by the BoCC that I know of and should not be affected by the variance.*

(2) This will give me access to have extra space to store and a nice shaded spot to enjoy.

Section 931 Responses