



Polk County Polk County Land Use Hearing Officer

Meeting Agenda - Final

March 26, 2026 Land Use Hearing Officer meeting

CALL TO ORDER: 1:30 P.M. OR AS SOON THEREAFTER AS THE PARTICULAR CASE MAY BE HEARD

MINUTES APPROVAL:

Draft Minutes for January 22, 2026, LUHO Hearing Date

NEW BUSINESS:

AGENDA ITEM:

- 1 LDLSE-2025-14 (West Bass Street SE) - Continue to May 28, 2026
- 2 LDLSE-2026-1 (Juan Sanchez SE)
- 3 LDLVAR-2025-78 (WH Vending Machine)
- 4 LDLVAR-2026-4 (Indian Creek ADU Variance)
- 5 LDLVAR-2026-13 (Rural Fire Service Connection)

ADJOURNMENT:



Polk County
Polk County Land Use Hearing Officer

Agenda Item

3/26/2026

SUBJECT

Draft Minutes for January 22, 2026, LUHO Hearing Date

DESCRIPTION

Draft Minutes for January 22, 2026, LUHO Hearing Date

RECOMMENDATION

Approval of Minutes

FISCAL IMPACT

Click or tap here to enter text.

CONTACT INFORMATION

Saralis Wons saraliswons@polkfl.gov <<mailto:saraliswons@polkfl.gov>> 863.534.6479

CASE FILE # LDLVAR-2025-58 – (Saturn St Variance)

Cimberly Harris, property owner, is requesting a rear accessory structure setback reduction from (10) feet to (2) feet for a shed and a side accessory structure setback from (5) feet to (2) feet for a second shed, in a Residential Suburban (RS) land use district. The property is located at 1910 Saturn Street, south of Skyview Drive, north of Maine Avenue, east of Lakeland, Florida, Section 27, Township 28, Range 24.

Erik Peterson, Land Development; presented the case and reported that 33 mailers were sent 10/1/2025, 2 board were posted on 10/31/25 and the legal ad was published in the Polk Sun News on 11/5/25.

Aleya Inglima, Case Planner, showed a power point presentation, has recommendation of approval, and stood for questions.

Cimberly Harris, owner/applicant, was available to answer questions and agreed with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

CASE FILE # LDLVAR-2025-64 – (Cordero ADU Variance)

Patricia L. Cordero & Jose A. Rodriguez, property owners, are requesting a variance to construct a new 1,500-square-foot accessory dwelling unit (ADU) which will exceed the 1,000 square foot cap on about 2.13 acres in a Residential Suburban (RS) land use district. The property location is 905 Haymarket Drive, north of Interstate-4 and Walt Williams Road, west of O'Doniel Loop West, east of Old Polk City Road, south of Meadowood Drive, north of the City of Lakeland, in Section 17, Township 27, Range 24.

Erik Peterson, Land Development; presented the case and reported that 30 mailers were sent 1/6/26, with 3 calls and Letter in opposition, 2 board were posted on 12/31/25 and the legal ad was published in the Polk Sun News on 1/7/26.

Andrew Grohowski, Case Planner, showed a power point presentation, has a recommendation of approval, and stood for questions.

Patricia Cordero, owner/applicant, was available to answer questions and agreed with staff recommendations.

The LUHO opened the public hearing.

Jane Fortune – 1108 Haymarket Dr, states that she is against the ADU, would like the neighborhood to remain the same.

Sam Heard – 1210 Haymarket Dr, states that he is against the ADU, would also like the neighborhood to remain the same, no subdividing the lots.

Laquita Butts- -1007 Haymarket Dr, against the ADU because of the size.

Gary Blankenship – 1223 Haymarket Dr. states that he is against the ADU.

The LUHO closed the public portion of the hearing.

CASE FILE # LDLVAR-2025-66 – (Neal Solivita Phase 5H)

Marcos Davila, Applicant, Robert Neal, Christine Neal and Tracy Evens, property owners, requesting a primary structure rear setback reduction from ten (10) feet to seven (7) feet for the installation of a new 22' by 20' solid aluminum roof in a Poinciana Pre-Development of Regional Impact (DRI) #1 Planned Unit Development (PUD) 98-12, Solivita Phase 5H Unit – 1 land use district. The property location at 3799 Via Mazzini CT, north of Solivita Boulevard, south of Village Center Road, east of San Clemente Avenue, west of Marigold Avenue, East of Haines City in Section 15, Township 27, Range 28.

Erik Peterson, Land Development; Presented the case and reported that 26 mailers were sent on 1/6/26, with no response, 1 board was posted on 1/2/26 and the legal ad was published in the Polk Sun News on 1/7/26.

Kyle Rogus, Case Planner, showed a power point presentation, has a recommendation of approval, and stood for questions.

The applicant did not show.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

CASE FILE #LDLVAR-2025-67 - (Greens at Providence Variance)

Paulo Carneiro, Applicant, Jagdeep & Raghbir Bhullar, property owners, are requesting a primary structure rear setback reduction from fifteen (15) feet to five (5) feet for the installation of a new insulated solid aluminum roof patio enclosure Planned Unit Development (PUD) 89-10, Greens at Providence Phase Residential Low-4X (RL-4X), land use district. The property location is at 2401 Heritage Green Ave, north of Sherbrook Avenue, south of Ronald Reagan Parkway, east of Providence Boulevard, west of Willingham Drive, northeast of the City of Davenport Section 18, Township 26, Range 28..

Erik Peterson, Land Development; Presented the case and reported that 33 mailers were sent on 1/6/26 with 1 opposition, 1 board was posted on 1/2/26 and the legal ad was published in the Polk Sun News on 1/7/26.

Kyle Rogus, Case Planner, showed a power point presentation, has a recommendation for approval, and stood for questions.

Raghbr Bhullar, Owner, was available to answer questions and agree with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

CASE FILE #LDLVAR-2025-68 - (Peach Avenue Variance)

Steven Williams, Applicant, Joan Vazquez, Conception Cruz Benitez, property owners, are requesting a variance to reduce the primary structure side setback in a Residential Suburban (RS), land use district. The property location is 2341 Peach Avenue, south of Peach Ave, east of Thompson Street, west of Stanton Street, east of the city of Auburndale in Section 21, Township 28, Range 25.

Erik Peterson, Land Development; presented the case and reported that 33 mailers were sent on 1/6/26, with no response, 1 board was posted on 12/31/25 and the legal ad was published on 1/7/26.

Aleya Inglima, Case Planner, showed a power point presentation, has a recommendation of approval, and stood for questions.

Steve Williams, applicant, was available to answer questions and agree with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

CASE FILE #LDLV-2025-69 (Nathani Alcohol Variance)

Case was Withdrawn

CASE FILE #LDLV-2025-70 (James Lee Road ADU Variance)

Carl Kelley, property owners, are requesting a variance for an accessory dwelling unit (ADU) larger than 1,000 square feet in a Residential Suburban (RS), land use district. The property location is 40 Jimmy Lee Road, south of CR 542 (K-Ville Ave), east of Lake Arrowhead Drive, west of SR 655 (Recker Highway), north of SR 540 (Winter Lake Road), south of Auburndale, West of Winter Haven, in Section 27, Township 28 and Range 25.

Erik Peterson, Land Development; presented the case and reported that 17 mailers were sent on 1/6/26, with no response, 1 board was posted on 1/5/26 and the legal ad was posted on 1/7/26.

Erik Peterson, Case Planner, showed a power point presentation, has recommendation of approval, and stood for questions.

Carl Kelley, applicant was available to answer questions and agree with staff recommendations.

The LUHO opened the public hearing.

Ms. Bobbie Walter – 20 Jimmy Lee Rd, states that she is opposing the ADU Variance.

Ms. & Mr. Williamson - 19 Jimmy Lee Rd - stated that she is opposing the ADU Variance.

Mr. Bob Mattie - 36 Jimmy Lee Rd, stated that he is opposing the ADU Variance.

Mr. Carlos Arroyo – 17 Jimmy Lee Rd, states that he is opposing the ADU Variance.

The LUHO closed the public portion of the hearing.

CASE FILE #LDLV-2025-71 (Crystal Beach Road Variance)

Wesley Holley and Kelly Holley, property owners, are requesting a variance for an accessory structure side setback from five (5) feet to two (2) feet for a carport in a Residential Low-2 (RL-2), land use district. The property location is 5726 Crystal Beach Road, south of Crystal Beach Road, east of Spirit Lake Road, north of Old Bartow Eagle Lake Road, west of the city of Eagle Lake in Section 11, Township 29, Range 25.

Erik Peterson, Land Development; presented the case and reported that 20 mailers were sent on 1/6/26, with no response, 1 board was posted on 12/31/25 and the legal ad was posted on 1/7/26.

Aleya Inglima, Case Planner, showed a power point presentation, has recommendation of approval, and stood for questions.

Wesley Holley, applicant, was available to answer questions and agree with staff recommendations.

The LUHO opened the public hearing.

There was neither support nor opposition in the audience.

The LUHO closed the public portion of the hearing.

Minutes: 2:55



Polk County
Polk County Land Use Hearing Officer

Agenda Item 1

3/26/2026

SUBJECT

LDLSE-2025-14 (West Bass Street SE) - Continue to May 28, 2026

DESCRIPTION

Allow one commercial vehicle (no trailer) on residential property.

RECOMMENDATION

Continue to May 28, 2026, LUHO Hearing

FISCAL IMPACT

No Fiscal Impact

CONTACT INFORMATION

Ian Nance
Land Development
(863) 534-7621
ivannance@polkfl.gov

LDLSE-2025-14

Continue to May 28, 2026



Polk County
Polk County Land Use Hearing Officer

Agenda Item 2

3/26/2026

SUBJECT

LDLSE-2026-1 (Juan Sanchez SE)

DESCRIPTION

The applicant is requesting a Special Exception to park a commercial vehicle (2000 Kenworth T800 dumpster truck) on approximately 0.82 acres of residential property

RECOMMENDATION

Approval

FISCAL IMPACT

No fiscal impact

CONTACT INFORMATION

Andrew Grohowski

Land Development Division

(863) 534-6412

andrewgrohowski@polkfl.gov

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date:	February 12, 2026	CASE #:	LDLSE-2026-1 (Juan Sanchez SE)
Hearing Date:	March 26, 2026	LDC Section:	Section 216.D

Request: The applicant is requesting a Special Exception to park a commercial vehicle (2000 Kenworth T800 dumpster truck) on approximately 0.82 acres of residential property.

Applicant: Juan L. Sanchez

Property Owner: Juan L. Sanchez & Traci Sanchez

Location: The subject property is located at 4100 Shady Hammock Drive, south and west of State Road 60, north of Nichols Road, east of Riverwood Drive, west of the City of Mulberry in Section 04, Township 30, and Range 23.

Parcel ID#: 233004-155202-000330

Size: ±0.82 acres

Land Use Designation: Residential Suburban (RS)

Development Area: Suburban Development Area (SDA)

Case Planner: Andrew Grohowski, Planner II

Summary:

The applicant is requesting a Special Exception to park a commercial vehicle (2000 Kenworth T800 dumpster truck) on approximately 0.82 acres within the Residential Suburban (RS) land use designation northwest of Mulberry. The site has direct access onto Shady Hammock Drive, a Local Roadway, and is less than ¾ miles west of State Road 60, a Principal Arterial Roadway. The roads in the immediate vicinity have no weight restrictions. The vehicle will be parked on the south side of the principal residence, screened from the public right-of-way to the north. A vegetative Type “B” Landscape buffer or a fence with a minimum height of six feet shall extend the length of the western property line, to screen the commercial vehicle from the neighboring residences to the west. Existing mature vegetation is along the eastern property boundary.

Staff finds the parking location to be sufficient to accommodate a vehicle such as this while meeting the standards required in Section 216.D. The commercial vehicle will be more than 40 feet and 90 feet from the western and eastern property lines, respectively. In accordance with the section mentioned previously, the commercial vehicle is required to be appropriately buffered and screened from neighboring properties, and a commercial driveway will be required to protect the County’s roadway. Staff recommends approval based on the site plan provided by the applicant and recent visits to the site.

Development Review Committee

The Development Review Committee, based on the criteria for granting variances, the submitted application, and a recent site visit, finds that the applicant's request as written **IS CONSISTENT** with Section 931 of the Polk County Land Development Code (LDC) and recommends **APPROVAL** of **LDLSE-2026-1**

CONDITIONS OF APPROVAL:

1. This Special Exception shall be limited to parking one (1) commercial vehicle (*Exhibit 6*), or its functional equivalent as described in the application and staff report. No other commercial vehicles, heavy machinery equipment, or tractor/trailer rigs shall be parked on the site.
2. Approval of this special exception shall be for the operator (Juan L. Sanchez) of record only. Approval shall not be transferable to any other owner/occupant of the property. In the event the property is sold, or the operator ceases to reside on the property, the Special Exception approval shall not "run with the land" and shall be null and void.
3. No commercial vehicle maintenance shall be performed on the site and no outside storage of any commercial vehicle parts or equipment is allowed.
4. Parking the commercial vehicle on the operator's lot shall be limited to empty weight only (no load or cargo).
5. This commercial vehicle parking approval shall be contingent upon the applicant constructing a driveway to commercial standards for structural thickness and turning radius in accordance with Section 705.I of the LDC (*Exhibit 7*).
6. The commercial vehicle shall only be parked in the area to the rear of the home as generally designated on the site plan (*Exhibit 5*) and shall continuously meet the screening and buffering requirements listed in Section 216.D of the LDC (*Exhibit 8*).
7. The property owner(s) is responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.
8. Approval of the Special Exception shall be valid for one year. Approvals may be renewed by the Land Development Division with a proper application submitted by the applicant 30 days prior to the expiration date (to be determined by the Land Use Hearing Officer) and evidence is provided to demonstrate that the conditions of approval have been met.
9. This Special Exception does not authorize any encroachments into easements, and the applicant shall be responsible to make certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.
10. The applicant shall meet all conditions of approval within six (6) months from the date the Land Use Hearing Officer's Final Order is rendered. All conditions of approval, unless otherwise specified, must be met prior to parking the commercial vehicle on the property.

Noncompliance with any of the conditions of approval will render LDLSE-2026-1 null and void.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other interested parties at a public hearing.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submissions of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with the LDC.

APPLICATIONS FOR COMMERCIAL VEHICLE PARKING AND STORAGE SHALL DEMONSTRATE COMPLIANCE WITH SECTION 216 OF THE LAND DEVELOPMENT CODE. DEMONSTRATION OF THE CRITERIA FOR GRANTING SPECIAL EXCEPTIONS FOR COMMERCIAL VEHICLES IS SUMMARIZED BELOW:

1. *Only one commercial vehicle, as regulated by this Section 216, shall be permitted on any residential lot;*

The request is to park one (1) 2000 Kenworth T800 dumpster-truck at the applicant's residence in the RS land use designation. Per the applicant, the vehicle measures approximately 11 feet high and 30 feet long and weighs approximately 17,500 pounds. As indicated by the submitted site plan (*Exhibit 5*), the truck will be parked to the rear of the principal structure. The parking location is outside of the existing drainage easement in the southern portion of property. Also the truck will not encroach on the 20' wide utility easement owed by TECO to the east. Nonetheless, no other commercial vehicles or trailers are permitted to park onsite.

2. *Commercial vehicle shall be currently registered and licensed;*

The applicant has provided a current and valid registration for the vehicle, which expires on December 31, 2026.

3. *The parking of said vehicle does not have a negative impact to the health, safety, or welfare of adjacent properties;*

Staff finds the request will have no negative impact on the health, safety, or welfare of adjacent property owners. The neighboring property to the east and west are within 200 feet of the proposed parking area. The view of the commercial vehicle parking area from the neighboring properties will be required to provide proper screening and buffering through a vegetative Type "B" Landscape buffer (*Exhibit 8*) or a fence with a minimum

height of six (6) feet may be used in lieu of, or in conjunction with, the vegetative bufferyard. Screening shall extend the length of the western property line, minimizing any visibility from the neighbors to the west. Existing mature vegetation is along the eastern property boundary. Should this be removed at any time, the applicant will need to provide a fence or vegetative buffer along the eastern property line to screen the vehicle from neighboring owners. If approved, the vehicle will be parked approximately 55 feet and 130 feet from the residential structures to the east and west respectively.

The subject site has about 67 feet of frontage on Shady Hammock Drive (Road No. 030502), a Local Roadway that consists of two (2) lanes with a paved surface width of approximately 20 feet, which meets the minimum ROW width standards. The roadway has a speed limit of 25 miles per hour. No sidewalks are located on this road or other nearby roads. The vehicle will travel just under ½ mile before reaching State Road 60, a Principal Arterial Roadway. State Road 60 is considered a major thoroughfare for commercial vehicles as industrial operations and warehouse facilities have historically stretched this corridor. As noted in the conditions of approval, a commercial driveway will be required to protect the edge of the County's pavement along Shady Hammock Drive from the stretching caused by such a heavy vehicle's turning movements on and off the property (*Exhibit 7*). Staff finds the ±0.82-acre property is sufficient to accommodate a vehicle such as this while meeting the standards required in Section 216.

4. *The applicant can demonstrate that denial of said request would place an unnecessary hardship on the property prohibiting the use of land in a manner otherwise allowed under this Land Development Code;*

The applicant did not include a demonstration of need in the application. The applicant can further demonstrate their hardship at the public hearing.

According to the site plan, the vehicle will be to the west of an existing shed. Per Section 216.C of the LDC, if this structure was large enough to store the vehicle, a Special Exception and additional landscaping and/or screening would not be required by the applicant.

5. *Commercial vehicles must park on the same lot occupied by the owner/operator of the vehicle.*

The vehicle will be parked on the same lot occupied by the operator of the vehicle.

6. *The vehicle shall not be parked in the front yard of the principal residence.*

The applicant's site plan (*Exhibit 5*) indicates the proposed parking area is not located in the front yard of the property.

7. *The parking area shall be at least 20 feet from all property boundaries.*

The property is about 0.82 acres (±35,719 square feet) and below RS minimum lot size. However, it is considered a lot of record as it met the minimum zoning requirements for "Single-Family" (SF-1M) at the time it was created in 1988. According to historical aerials,

the subject site remained vacant in the subdivision since its creation in 1988 up until June 2009 when a 1,344 mobile home was installed (Permit # 114668).

The submitted site plan indicates the proposed parking area for the commercial vehicle exceeds the minimum twenty (20) feet from property lines, but is within 200 feet, which will require additional screening (*Exhibit 5*).

8. *The vehicle shall park in a manner so that the minimum amount of vehicle surface is facing the road adjacent to the property, unless the vehicle is screened or buffered as provided.*

The site plan illustrates the commercial vehicle will be parked to the south of the mobile home in the year yard. The vehicle will be parked in a manner which exposes minimal view of the truck from the road. The nearest neighboring residential structures are 55 feet to the west and 130 feet east of the proposed parking location.

9. *When the vehicle parking area is less than 200 feet from a residentially designated or used property, it shall be buffered from the adjacent residential property with a Type B Buffer as outlined in Section 720. A fence with a minimum height of six feet may be used in lieu of, or in conjunction with, a vegetative bufferyard.*

If approved, the commercial vehicle parking location shall be confined to the area depicted on the site plan (*Exhibit 5*). The parking area is approximately 40 feet and 90 feet from the western and eastern neighboring residential property lines, respectively. This falls within 200 feet from the neighboring residentially designated properties requiring a Type “B” landscape buffer consistent with the width and planting requirements outlines in Section 720 (*Exhibit 8*). During staff’s site visit, the neighboring property to the east has existing mature vegetation and, unless removed, no additional plantings or screening will be required to the west. The nearest neighboring residential structures are approximately 55 feet west and 130 feet east of the proposed parking location.

10. *Refrigerator units on vehicles shall not be operated on the site.*

The vehicle has no refrigerator units.

11. *Approvals shall be valid for one year, or for a shorter period as specified by the Land Use Hearing Officer. Approvals may be renewed, with proper application following notice provided by the Land Development Division Director 30 days prior to the expiration date, if the commercial vehicle location is consistent with the Land Development Code. The applicant shall bear the burden in demonstrating that the vehicle parking still meets the criteria of the approved Special Exception and Section 216.*

This has been included in the conditions of approval.

Surrounding Future Land Use Designations and Existing Land Use Activity:

<p>Northwest: Residential Suburban (RS) Lot 115, mobile home Shady Hammock Subdivision ±0.26 acres</p>	<p>North: Residential Suburban (RS) Lot 116, mobile home Shady Hammock Subdivision ±0.33 acres</p>	<p>Northeast: Residential Suburban (RS) Lot 95, single-family home Shady Hammock Subdivision ±0.29 acres</p>
<p>West: Residential Suburban (RS) Lot 34, mobile home Shady Hammock Subdivision ±0.52 acres</p>	<p>Subject Property: Residential Suburban (RS) Lot 33, mobile home Shady Hammock Subdivision ±0.81 acres</p>	<p>East: Residential Suburban (RS) Lot 32, Utility easement, mobile home Shady Hammock Subdivision ±0.69 acres</p>
<p>Southwest: Recreation Open Space (ROS) Alafia River Reserve - Conservation Lands ±334 acres</p>	<p>South: City of Mulberry Vacant 23-acre conservation easement ±178.71 acres</p>	<p>Southeast: City of Mulberry Vacant 23-acre conservation easement ±178.71 acres</p>

The surrounding area is designated Residential Suburban (RS) and the site considered Lot 33 of the Shady Hammock Subdivision (PB 86, PGS 15 & 16) platted and recorded in 1988. Chapter 2, Table 2.2 of the LDC requires a minimum lot size of five (5) acres RS. While the subject parcel is beneath the required acreage, the parcel is considered a lot of record.

The subdivision was a result of a zone change from “Rural Conservation” (RC) to “Single-Family” (SF-1M) which received Board approval on December 23, 1986 (*ZCR 86-126*). “SF-1M” indicates mixed building types for either mobile homes or conventionally constructed buildings. Shady Hammock Subdivision had minimum lot sizes of 15,000 square feet at a net density of 2 dwelling units per acre, consistent with the zoning regulations at the time.

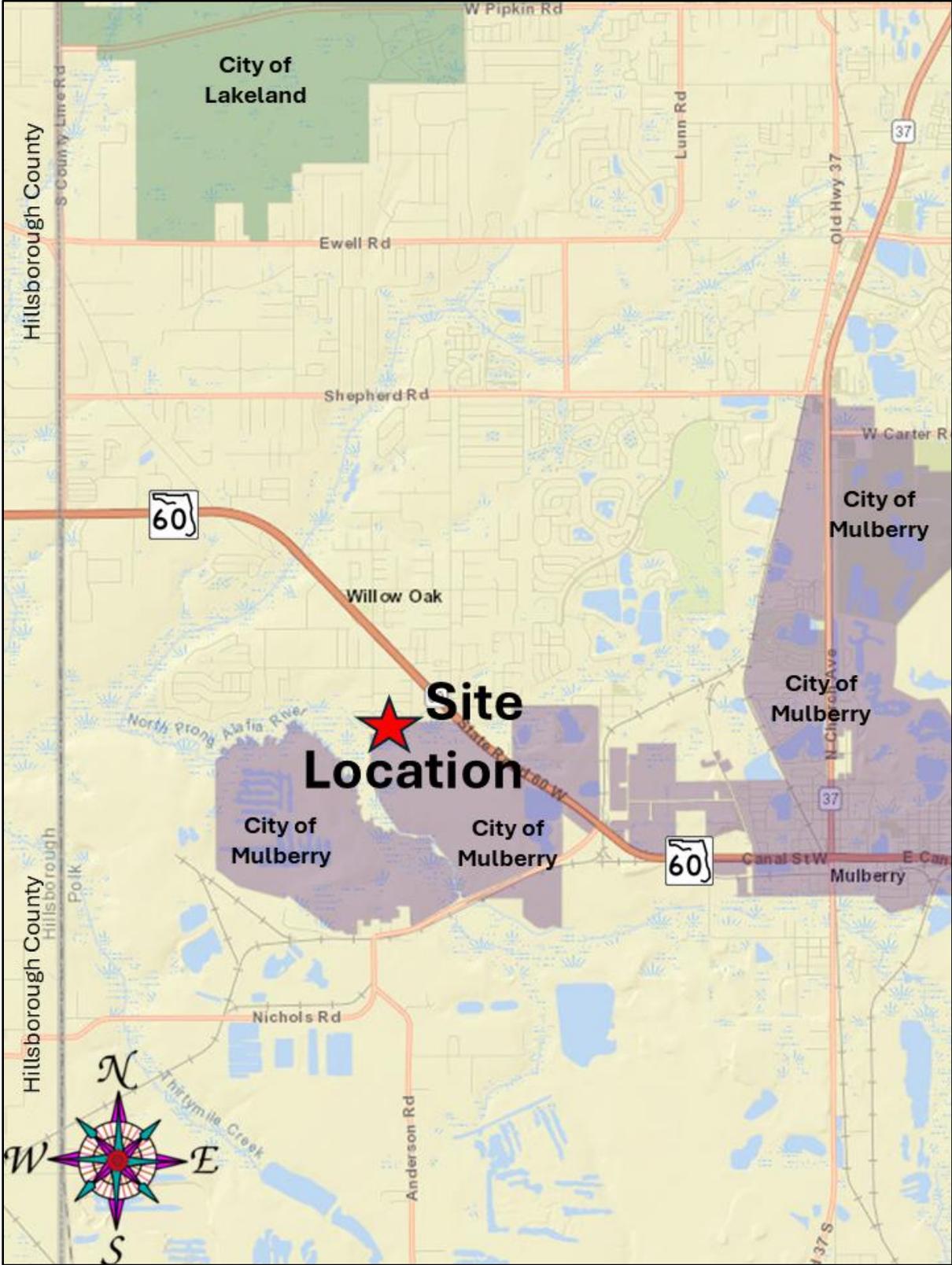
The property was first recorded through a quit-claim deed on June 1988, prior to the adoption of Land Development Code and Comprehensive Plan. There is currently a 1,344 square foot mobile home constructed in 1994 and placed on the site in June 2009 according to Building records and historical aerials (Permit # 114668). The applicant first purchased the property in September 2019. In 2025, a Special Exception for commercial vehicle parking was approved about ¾ mile to the north of the subject property at 4508 Thompson Road (LDLSE-2024-10).

The properties to the south and southwest were formerly owned by Mobil Oil Corporation in the 1980s with the vacant property directly to the south is in the City of Mulberry and 23 acres were set aside through a conservation easement in 2020 (OR Bk 11218, PG 1542). About 334 acres along the upper corridor of the Alafia River were purchased jointly by the County and the Water Management District (SWFWMD) in the 1990s. These natural wetlands and uplands are designated as Recreation Open Space (ROS) and considered protected environmental lands. Public access to the Alafia River Reserve can be found further west of the subject site at 4872 Indian Oak Drive.

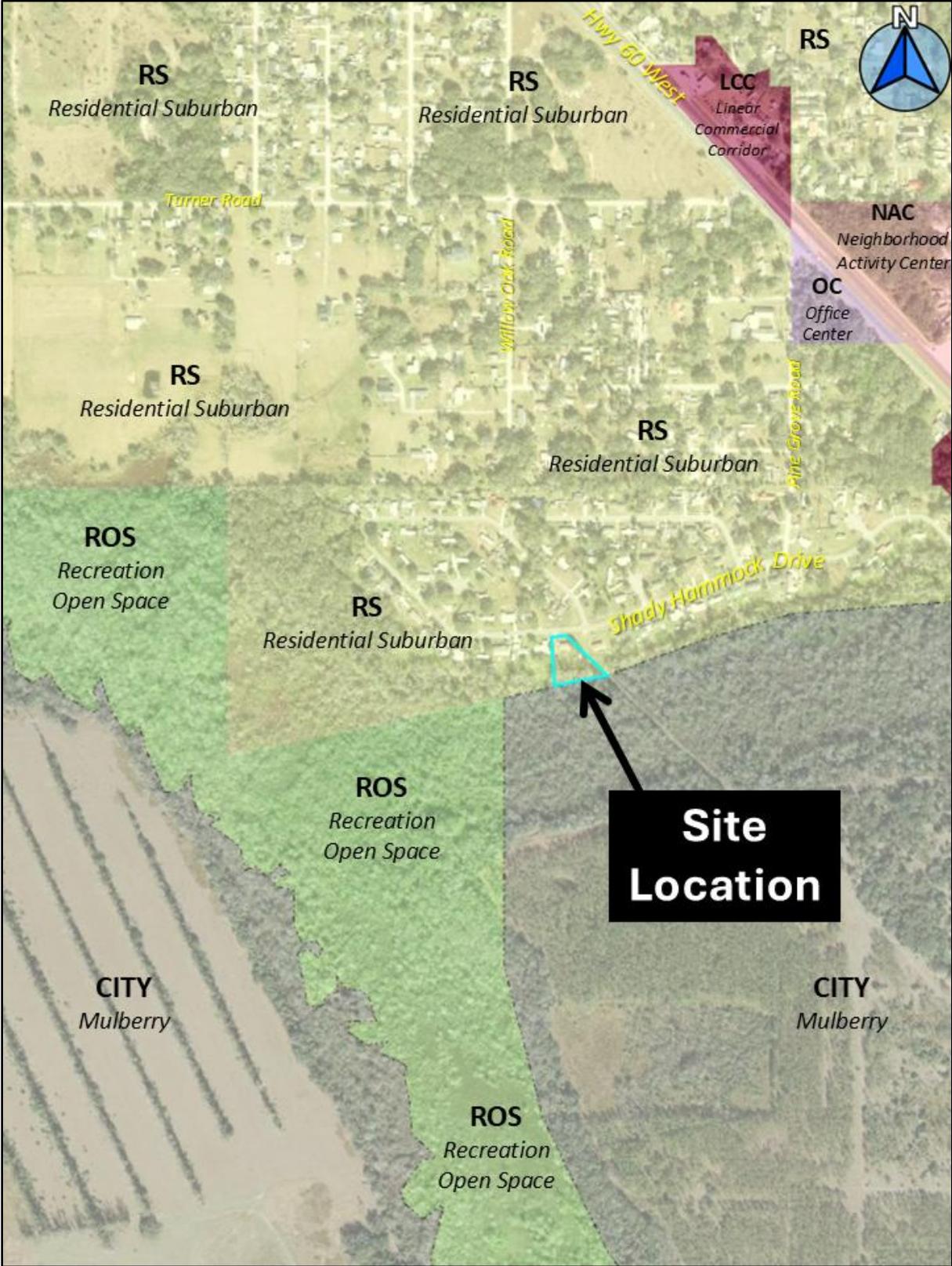
Comments from other Governmental Agencies: None

Exhibits:

- | | |
|--|--|
| Exhibit 1 – Location Map | Exhibit 5 – Site Plan |
| Exhibit 2 – Future Land Use Map | Exhibit 6 – Commercial Vehicle Pictures |
| Exhibit 3 – 2025 Satellite Image (Context) | Exhibit 7 – Commercial Driveway Specifications |
| Exhibit 4 – 2023 Aerial Photo (Close-Up) | |



Location Map



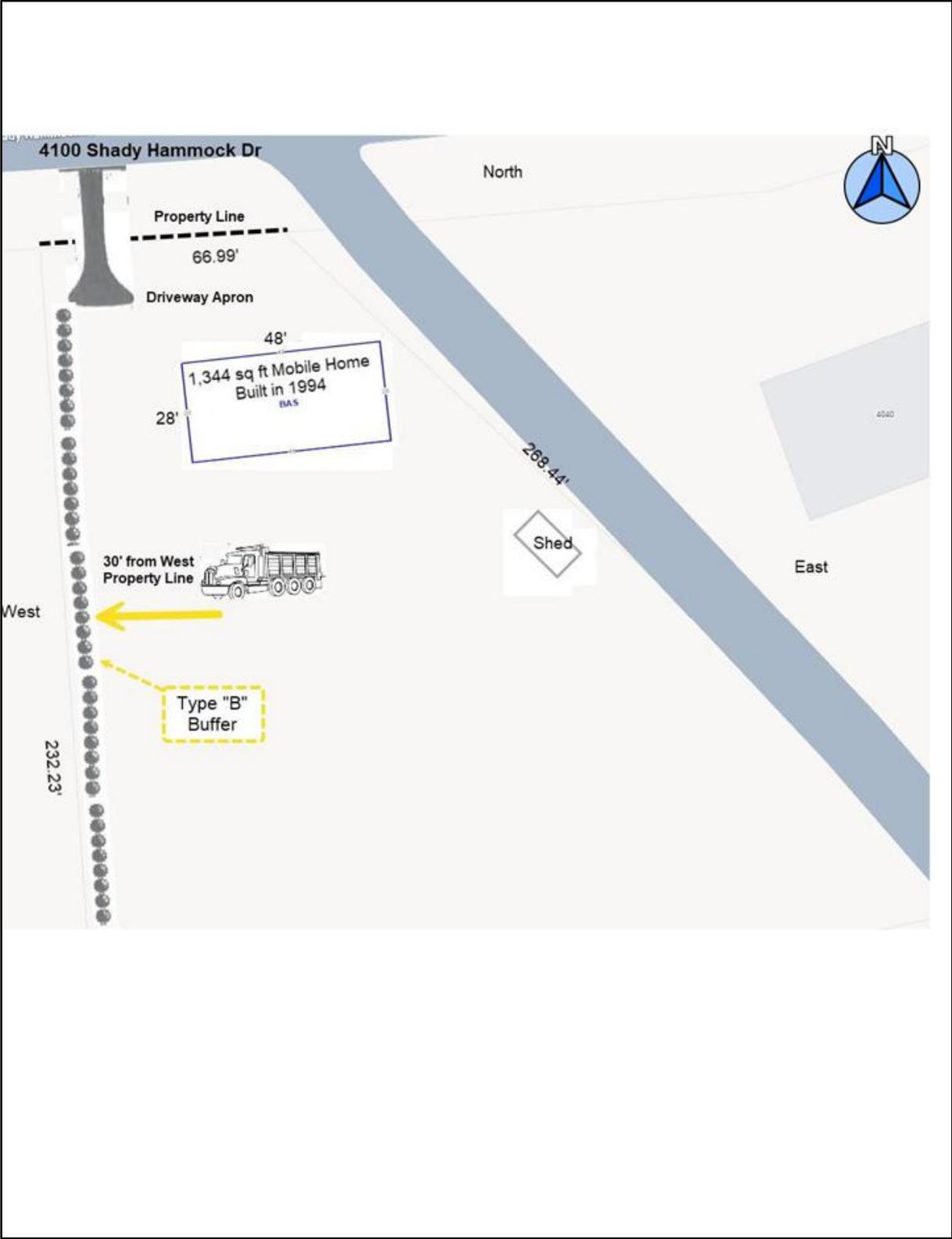
Future Land Use



2025 Satellite Image (Context)



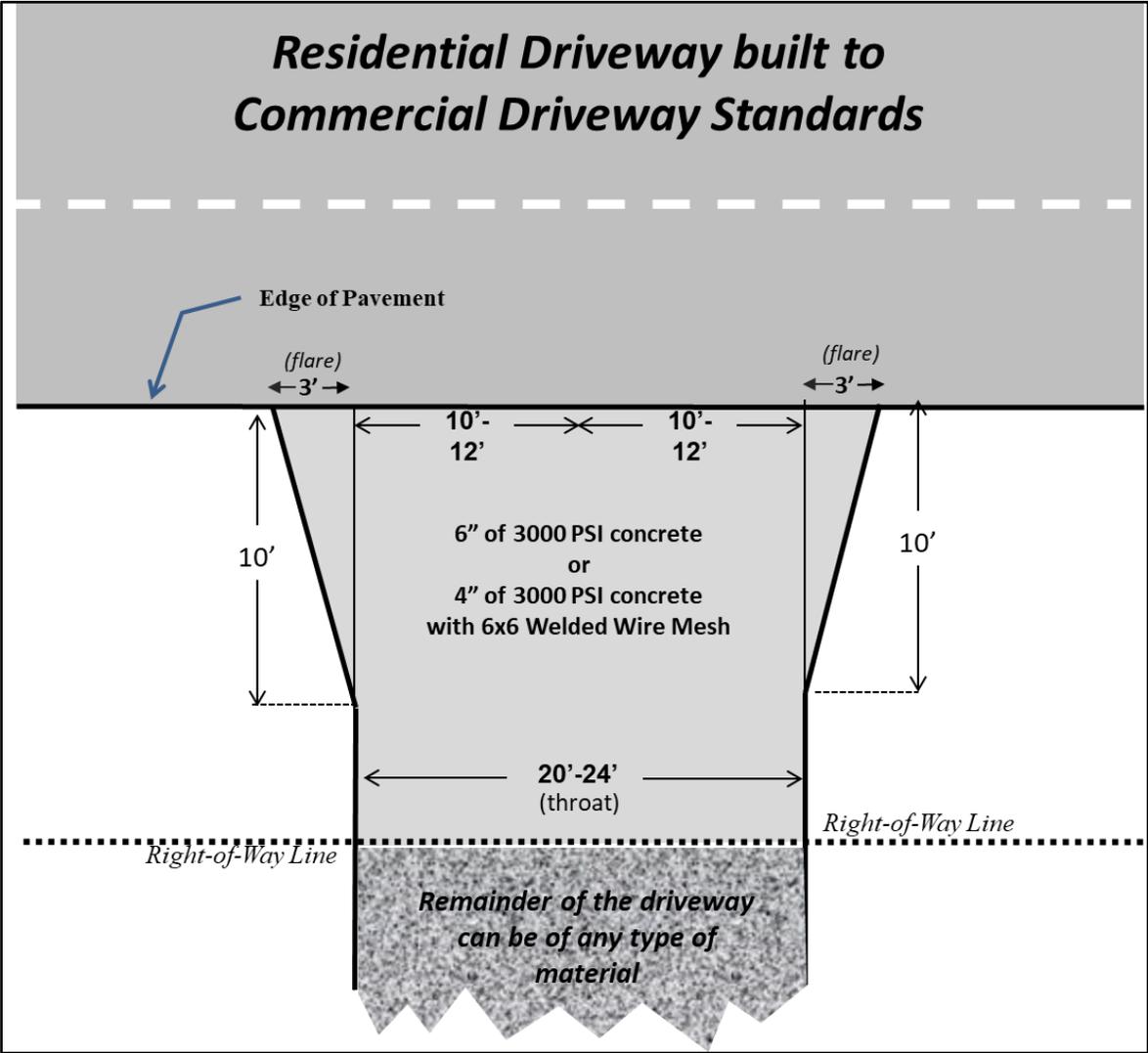
2023 Aerial Photo (Close-up)



Applicant's Site Plan

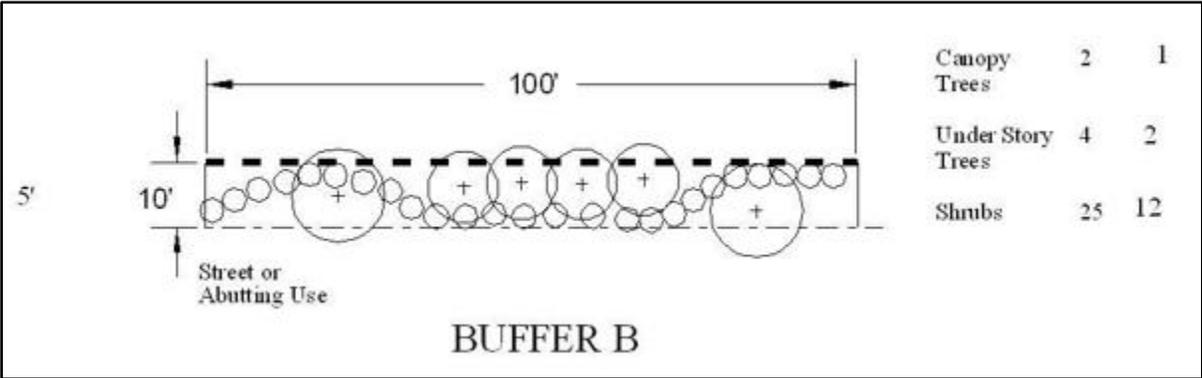


Commercial Vehicle Pictures



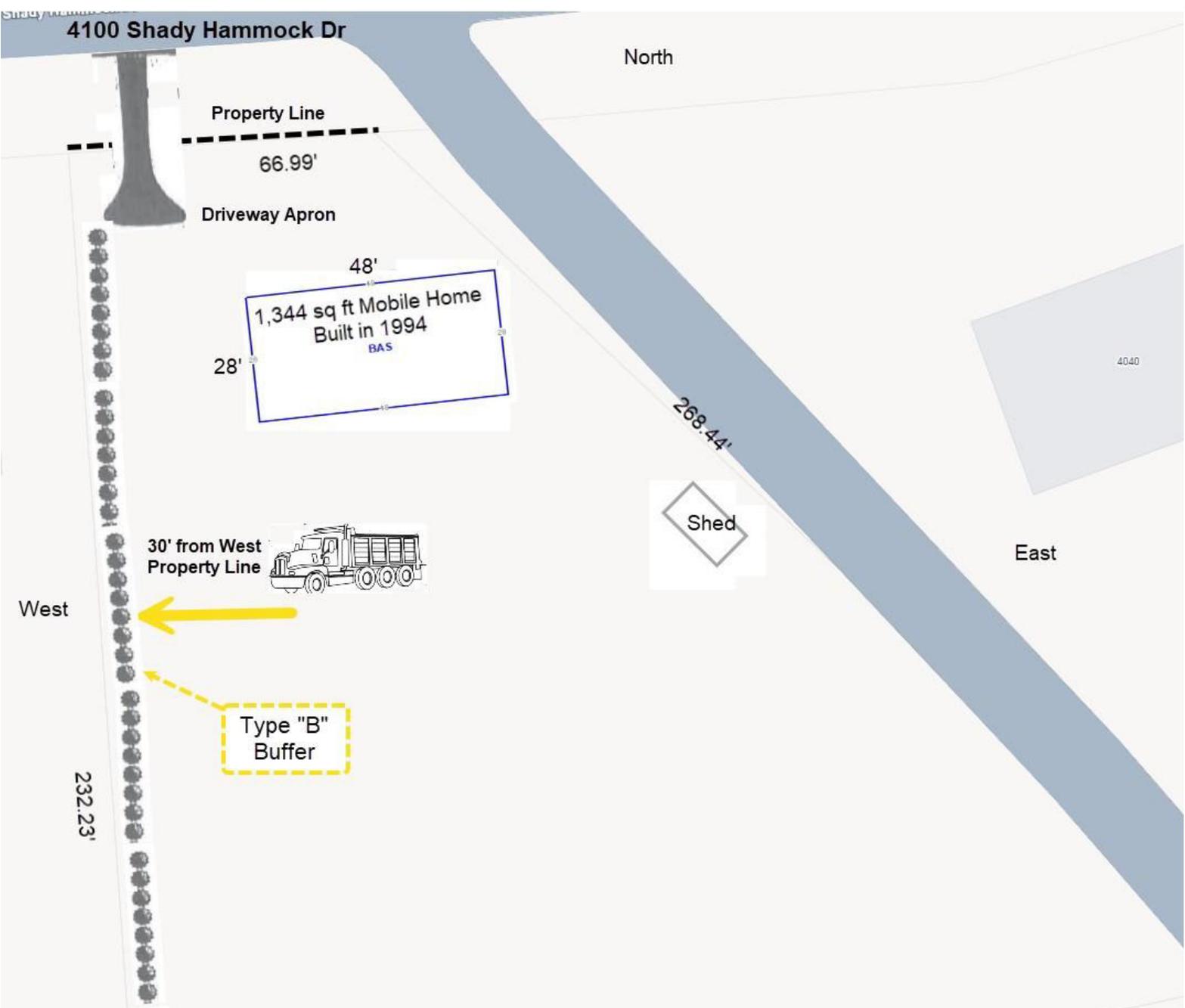
Commercial Driveway Specifications

(Per LDC Section 705.1)



Buffering and Screening Specifications

(Per LDC Section 720.L)



CO/AGY 5 / 2

T# 2234683699
B# 3568180

FLORIDA VEHICLE REGISTRATION

PLATE **P8395K** DECAL **20882600** Expires **Midnight Thu 12/31/2026**

YR/MK	2000/KW	BODY	TK	COLOR	GRN	Reg. Tax	1,037.10	Class Code	41
VIN	3BKDXUEXXYF857150	TITLE	70000	GVW	70000	Init. Reg.		Tax Months	11
Plate Type	TUR	NET WT	17500			County Fee	3.00	Back Tax Mos	
DL/FEID	-					Mail Fee		Credit Class	
Date Issued	1/7/2026	Plate Issued	1/7/2026			Sales Tax		Credit Months	
						Voluntary Fees			
						Grand Total	1040.10		

IMPORTANT INFORMATION

1. The Florida license plate must remain with the registrant upon sale of vehicle.
2. The registration must be delivered to a Tax Collector or Tag Agent for transfer to a replacement vehicle.
3. Your registration must be updated to your new address within 30 days of moving.
4. Registration renewals are the responsibility of the registrant and shall occur during the 30-day period prior to the expiration date shown on this registration. Renewal notices are provided as a courtesy and are not required for renewal purposes.
5. I understand that my driver license and registrations will be suspended immediately if the insurer denies the insurance information submitted for this registration.

**MACHO TRUCKING LLC
4100 SHADY HAMMOCK DR
MULBERRY, FL 33860-8747**

TUR - TRUCKS WITH TWO PLATES PLATE ISSUED X

LDLSE-2026-1 - Sanchez - SE Request

Menu Reports Help

Application Name: [Sanchez - SE Request](#)

File Date: [01/08/2026](#)

Application Type: [LUHO - Special Exception](#)

Application Status: [Approved For Hearing](#)

Application Comments:

View ID	Comment	Date
<hr/>		

Description of Work: [Special exemption permit request for parking one commercial vehicle \(dump truck\) on a residential lot. Vehicle and property ownership are the same - Juan Sanchez / Macho Trucking LLC](#)

Application Detail: [Detail](#)

Address: [4100 SHADY HAMMOCK DR, MULBERRY, FL 33860](#)

Parcel No: [233004155202000330](#)

Owner Name: [SANCHEZ JUAN L](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	SANCHEZ JUAN L	Macho Trucking LLC	Engineer	Mailing, 4100 Shady Ha...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #
<hr/>						

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$541.00](#)

Total Fee Invoiced: [\\$541.00](#)

Balance: [\\$0.00](#)

Custom Fields: **LD_BOA_SE**

GENERAL INFORMATION

Acreage

[0.82](#)

DRC Meeting

[02/12/2026](#)

Rescheduled DRC Meeting

-

Green Swamp

[No](#)

Case File Number

-

DRC Meeting Time

-

Rescheduled DRC Meeting Time

-

FS 119 Status

[Non-Exempt](#)

SPECIAL EXCEPTION

Make of vehicle

[Kenworth](#)

Weight of vehicle

[17,500](#)

Height & length of vehicle

[11' Height x 30' Length](#)

Height, length & weight of any additional trailer or equipment

[N/A](#)

Model & Year of vehicle

[T800 / 2000](#)

Gross axle weight of vehicle

[66,000](#)

PUBLIC HEARING

Development Type

[Land Use Hearing,](#)

[Officer](#)

Variance Type

-

Affordable Housing

Application Type

[Special Exception](#)

Brownfields Request

-

ADVERTISING

Legal Advertising Date

-

Advertising Board

[Land Use Hearing,](#)

[Officer](#)

MEETING DATES

LUHO Hearing Date

[03/26/2026](#)

HEARING

Hearing Results

-

LD_BOA_SE_EDL

Opening DigEplan List...

DigEplan Document List

-

PLAN REVIEW FIELDS

TMPRecordID
[POLKCO-26EST-00000-00983](#)
RequiredDocumentTypesComplete
[Yes](#)

DocumentGroupforDPC
[DIGITAL PROJECTS.LD](#)
AdditionalDocumentTypes
[Applications, AutoCad File Binding, Site Plans \(PDs, Yes and CUs\), CSV, Calculations, Correspondence, Design Drawings, Flood/Traffic Studies, Impact Statement, Inspections, Miscellaneous, Plats, Record Drawings, Response Letter Resubmittal Complete, Staff Report/Approval Letter, Survey, Title Opinion](#)
DigitalSigCheck
[Yes](#)

RequiredDocumentTypes
-
Activate DPC

Activate FSA
[Yes](#)

PLAN UPLOAD ACKNOWLEDGEMENT

Upload Plans Acknowledgement
[√](#)

LAND USE

Selected Area Plan LU Code

NOR

Neighborhood Organization Registry (NOR)

PUBLIC MAILERS

Posting Board	Number of Boards (Number)	Number of Mailers (Number)	Date Mailed	Date Posted	NOR
LUHQ	1	42	03/11/2026	03/11/2026	

Workflow Status:

Task	Assigned To	Status	Status Date	Action By
Application Submittal Roads and Drainage Review	Saralis Wons	Application ...	01/14/2026	Lisa Simons-Iri...
Planning Review Review Consolidation Public Notice Hearing Officer Final Order Archive	Andrew Grohowski	Approve Approved for...	02/03/2026 02/25/2026	Andrew Grohowski Saralis Wons

Condition Status:

Name	Short Comments	Status	Apply Date	Severity	Action By
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Scheduled/Pending Inspections:

Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:

Inspection Type	Inspection Date	Inspector	Status	Comments
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Polk County
Polk County Land Use Hearing Officer

Agenda Item 3

3/26/2026

SUBJECT

LDLVAR-2025-78 (WH Vending Machine)

DESCRIPTION

Michelle Kucaba requests a right-of-way setback reduction from 50 feet to five (5) feet off Recker Highway and a right-of-way setback reduction from 35 feet to 20 feet off Coleman Road for a water vending station on approximately 0.98 acres within a Community Activity Center (CAC). The subject property is located at 2787 Recker Highway, north of Highway 540 W, south of Avenue G NW, east of Spirit Lake Road, west of 3rd Street SW, southwest of the City of Winter Haven in Section 25, Township 28, Range 25.

RECOMMENDATION

Approval with conditions

FISCAL IMPACT

No fiscal impact

CONTACT INFORMATION

Kyle Rogus, Planner II
Land Development Division
kylerogus@polkfl.gov
863-534-7553

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date: February 12, 2026	CASE #: LDLVAR-2025-78 (WH Water Vending Station)
LUHO Date: March 26, 2026	LDC Section: Section 205, Table 2.2

Request: The applicant is requesting a right-of-way setback reduction from 50 feet to five (5) feet off Recker Highway and a right-of-way setback reduction from 35 feet to 20 feet off Coleman Road for a water vending station on approximately 0.98 acres within a Community Activity Center (CAC).

Applicant: Michelle Kucaba

Property Owner: Stewart Beatrice C Revocable Living Trust

Location: The subject property is located at 2787 Recker Highway, north of Highway 540 W, south of Avenue G NW, east of Spirit Lake Road, west of 3rd Street SW, southwest of the City of Winter Haven in Section 25, Township 28, Range 25.

Parcel ID#: 252825-000000-021060 and 26283-000000-0043140

Size: ±0.98 acres

Land Use Designation: Community Activity Center (CAC)

Development Area: Transit Supportive Development Area (TSDA)

Case Planner: Kyle Rogus, Planner II

Summary:

The applicant is requesting a reduction in right-of-way setbacks off Recker Highway and Coleman Road. Recker Highway is classified as a minor arterial state roadway requiring 50 feet of separation between any structure and right-of-way line. Coleman Road is classified as an urban collector roadway requiring 35 feet of separation between any structure and right-of-way line. Frontage off two (2) high traffic roadway segments requires restrictive setbacks that create a burden on site development without relief. The applicant is proposing a reduction from 50 feet to five (5) feet off Recker Highway and a reduction from 35 feet to 20 feet off Coleman Road.

Staff finds this request will cause no direct or indirect harm to the community and recommends approval. Staff recommends approval of LDLVAR-2025-78 as it meets the following criteria listed in Section 931:

1. *Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

The location of the proposed structure is outside the clear visibility triangle and will not block the view of traffic (see Exhibit 5). The structure will be 5 feet from the right-of-way along Recker Highway and 20 feet from the right-of-way along Coleman Road. The structure will be 30 feet from the edge of pavement off Recker Highway and 32 from the edge of pavement off Coleman Road. The nearest stand-alone ice/water machine is 200 feet southwest of the site across Recker Highway (see Exhibit 4).

2. *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

The property is located in the Community Activity Center (CAC) land use district in the Transit Supportive Development Area (TSDA) on an approximate 0.98 acre parcel. The proposed stand-alone vending machine structure will be comparable in size to a box truck utilizing two (2) parking spaces. The shopping center has over the 35 required parking spaces, therefore the reduction of two (2) spaces for the proposed structure will not limit on-site parking.

Development Review Committee

The Development Review Committee, based on the criteria for granting variances, the submitted application, and a recent site visit, finds that the applicant's request as written **IS CONSISTENT** with Section 931 of the Polk County Land Development Code (LDC) and recommends **APPROVAL of LDLVAR-2025-78**

CONDITIONS OF APPROVAL:

1. The approval of this variance to Section 205, Table 2.2 of the Land Development Code is to allow a right-of-way setback reduction from 50 feet to five (5) feet off Recker Highway and a Right-of-way setback reduction from 35 feet to 20 feet off Coleman Road for a water vending station. Further additions or structures placed on the property shall be required to meet the setback requirements of Table 2.2 of the Polk County Land Development Code or re-apply for another variance approval from the Land Use Hearing Officer.
2. This variance does not authorize any encroachments into easements, and the applicant shall be responsible to make certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.
3. The applicant shall have one (1) year from the date the Land Use Hearing Officer's Final Order is rendered to apply for all necessary building permits and pay all associated fees for the proposed addition.
4. The location of the proposed structure approved herein is limited so that no structure or commercial use shall be permitted to occur within the Clear Visibility Triangle as outlined in Section 711 of the Polk County land Development Code.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other interested parties at a public hearing.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submissions of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with the LDC.

DEMONSTRATIONS OF THE CRITERIA FOR GRANTING VARIANCES SUMMARIZED BELOW:

1. *Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

The granting of this request will not be injurious to the area as the stand-alone vending machine will not block the view of traffic. As a condition of approval, the stand-alone vending machine will not be located within the clear visibility triangle, meeting all requirements outlined in Section 711 of the Land Development Code (LDC). The stand-alone vending machine will be located on the southeast corner of the subject property within the front parking lot. The structure will be five (5) feet from the southwest property line, approximately 30 feet from the edge of pavement to Recker Highway. The structure will be 20 feet from the southeast property line, approximately 35 feet from the edge of pavement to Coleman Road. The nearest similar stand-alone vending machine is 200 feet away, within the parking lot of the Village Square Plaza to the southwest. The existing vending machine is approximately 47 feet from the northern property line, well within the 50-foot right-of-way setback. There are no platted easements.

2. *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

The property is located in the Community Activity Center (CAC) land use district and is approximately 0.98 acres. According to the structural plans provided under Building Permit BC-2025-1312 (see Exhibit 6), the proposed stand-alone vending machine will be approximately 12'-2" in length, 8'-10" in width, and 14'-5" in height utilizing two (2) parking spaces within the parking lot. The size of the structure is comparable to that of a box truck that would utilize the same number of parking spaces as the proposed stand-alone vending machine.

Per Section 708, Table 7.10, Minimum Off-Street Parking Requirements, "Retail, More than 5,000 Sq. Ft." requires 3 spaces or 1 space per 300 sq ft GFA, whichever is greater. According to Property Appraiser website, the shopping center on site is 10,500 square feet, requiring 35 total parking spaces. The site plan submitted in the application provides 44 total parking spaces not excluding the two (2) space to be utilized for the stand-alone vending machine. With the approval of the application and the utilization of two (2) spaces for the stand-alone vending machine, the parking lot will provide a total of 42 parking spaces for vehicular use, seven (7) more than is required by code.

Staff has experienced a higher volume of requests for similar structures to be implemented on various properties throughout the County. As a result of the increased demand, the County is proposing a text amendment to Chapter 2 to clarify the level of review and establish setbacks. The structure will accommodate the shopping needs of residents living within the community, much like the existing stand-alone vending machine on Parcel ID No. 252825-000000-021020.

3. *Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant;*

The owner purchased the property in October 2015, according to the Polk County Property Appraiser. The shopping center was built in 1983 at 10,500 square feet. The proposed stand-alone vending machine will be placed on a 225 square feet foundation outside the clear visibility triangle within the front parking lot. Per discussions with the applicant, the proposed location is the only viable option as leasing negotiations and restrictions prohibit the placement of the structure elsewhere on site. The structure will be approximately 12'-2" in length, 8'-10" in width, and 14'-5" in height.

4. *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant;*

Every variance approval is a special privilege to some degree. Other parcels have similar vending stations located on within their respective parking lots on site. The property to the southwest of the subject site under Parcel ID No. 252825-000000-021020 has an existing ice vending machine located within the parking lot of the Village Square Plaza. The existing vending machine is approximately 200 feet from the proposed water vending station. The existing vending machine is approximately 47 feet from the northern property line, within the 50-foot right-of-way setback.

5. *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

The requested variance is believed to be the minimal variance necessary to optimize the use of the owner's land. The currently proposed location is the only viable option allotted to the applicant by the landlord. Due to the leasing negotiations and restrictions, the applicant is not able to relocate the proposed water vending station elsewhere on the site. These vending machines need to be easily visible from the roads. They rely on being located close to the roadway as they do not have signage, and can get lost within parking lots.

6. *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;*

Granting this variance will not result in a change of land use.

7. *Whether that in no case shall a variance be granted which would result in creation of any residual lot or parcel which does not meet the requirements of this Code; and*

Granting this request is not anticipated to result in the creation of a lot or parcel that does not meet the requirements of the Code.

8. *Whether that the granting of the variance does not circumvent a condition, or the intent of a condition placed on a development by the Planning Commission or the BoCC.*

The evidence found suggests the proposed request will not circumvent the intent of a condition placed on a development by the Planning Commission or the Board of County Commissioners. The property was originally zoned Commercial (C-3) District – Regional Commercial. The minimum ROW setbacks for principal and accessory structures in commercial and office districts were 65 feet off arterial roadways and 35 to 50 feet off collector roadways. At the time there was no roadway classification for urban collector roads, only major and minor collectors. The property is now part of the larger CAC land use district intended to accommodate the shopping needs of residents living within the community and generally contain a shopping center and other commercial and office uses within close proximity.

Surrounding Future Land Use Designations and Existing Land Use Activity:

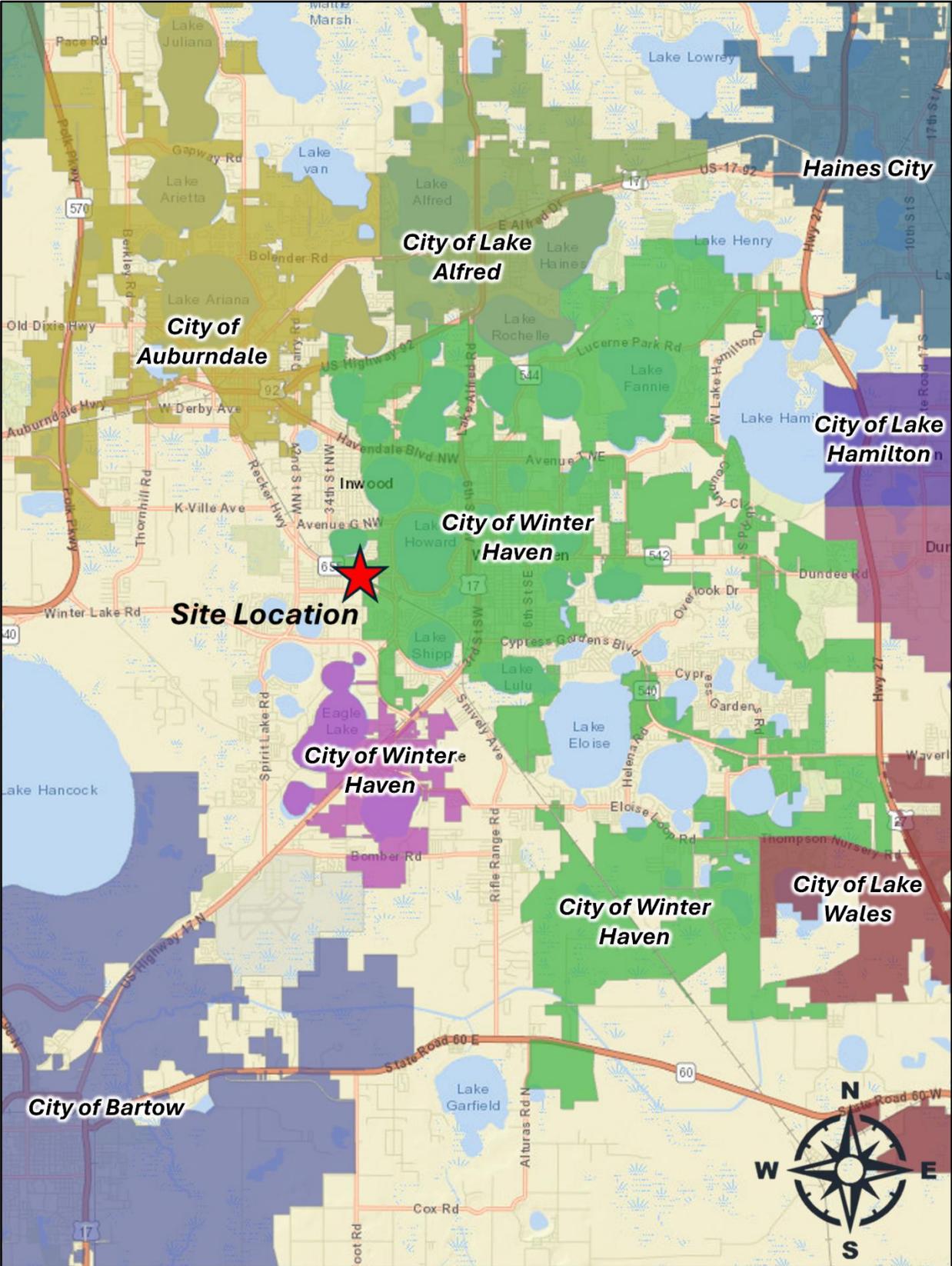
<p>Northwest: City of Winter Haven Charitable including Orphanages 11.16 acres</p>	<p>North: Residential Low-4 Convenience Stores Only 0.39 acres</p>	<p>Northeast: Community Activity Center Used Sales & Rental/Lesing 0.49 acres</p>
<p>West: Community Activity Center Bars and Lounges 0.69 acres</p>	<p>Subject Property: Community Activity Center Mini Plaza Proposed stand-alone vending machine 0.98 acres</p>	<p>East: Community Activity Center Convenience Stores w/ Gas 1.37 acres</p>
<p>Southwest: Community Activity Center Neighborhood Shopping Center Existing stand-alone vending machine 9.87 acres</p>	<p>South: Community Activity Center One-Story Class C, Office 0.52 acres</p>	<p>Southeast: Community Activity Center Dollar Store 0.75 acres</p>

Many of the surrounding properties are small commercial centers ranging in size from 0.39 acres to 9.87 acres. These small commercial centers make up the larger Community Activity Center

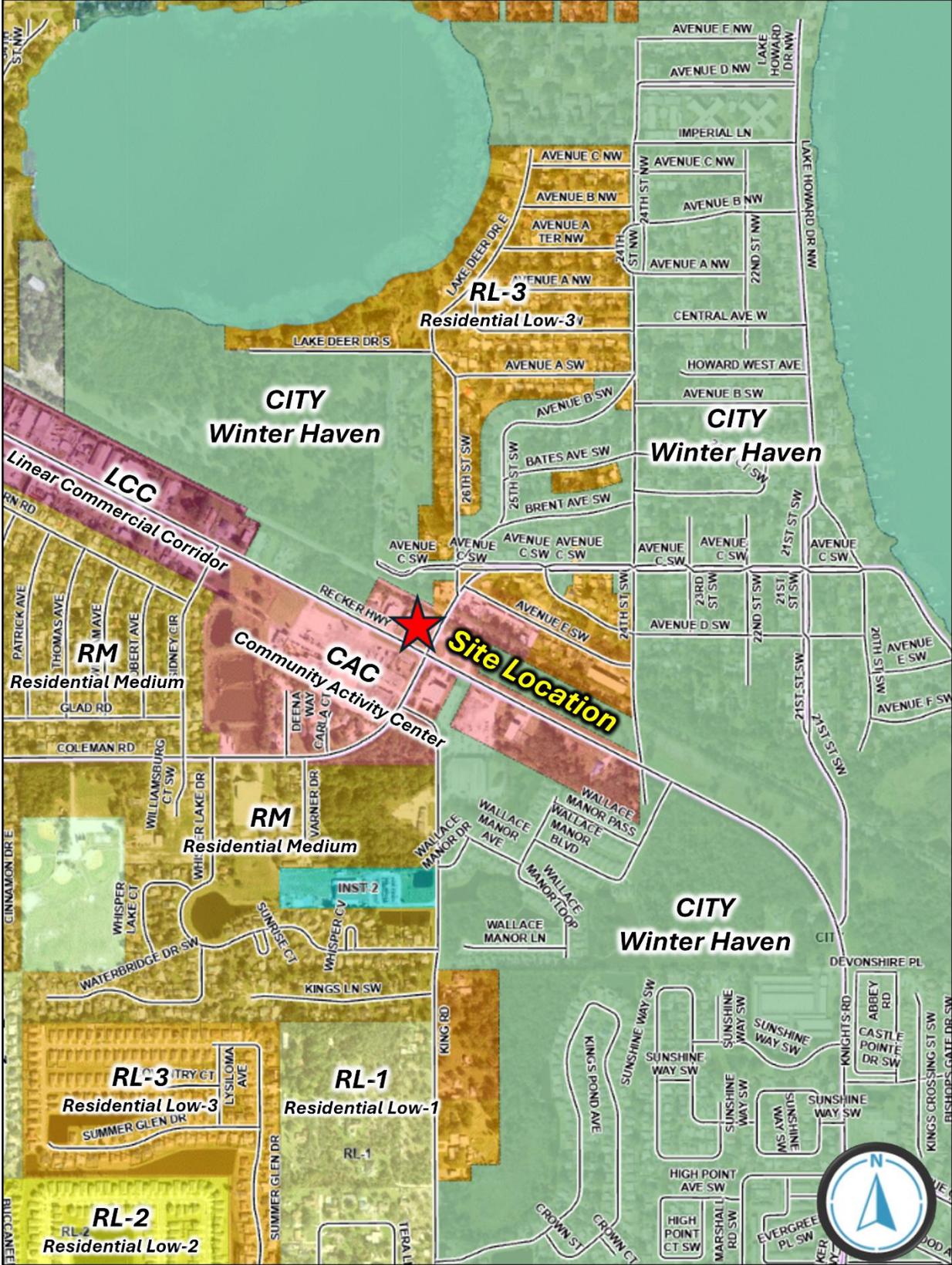
district, providing shopping services to the surrounding community. Recent aerial data viewers show similar stand-alone vending machines within the surrounding area. The property directly to the southwest of the subject site, across Recker Highway, has an existing accessory stand-alone vending machine in the front parking lot of the property within the 50-foot right-of-way setback off Recker Highway.

Exhibits:

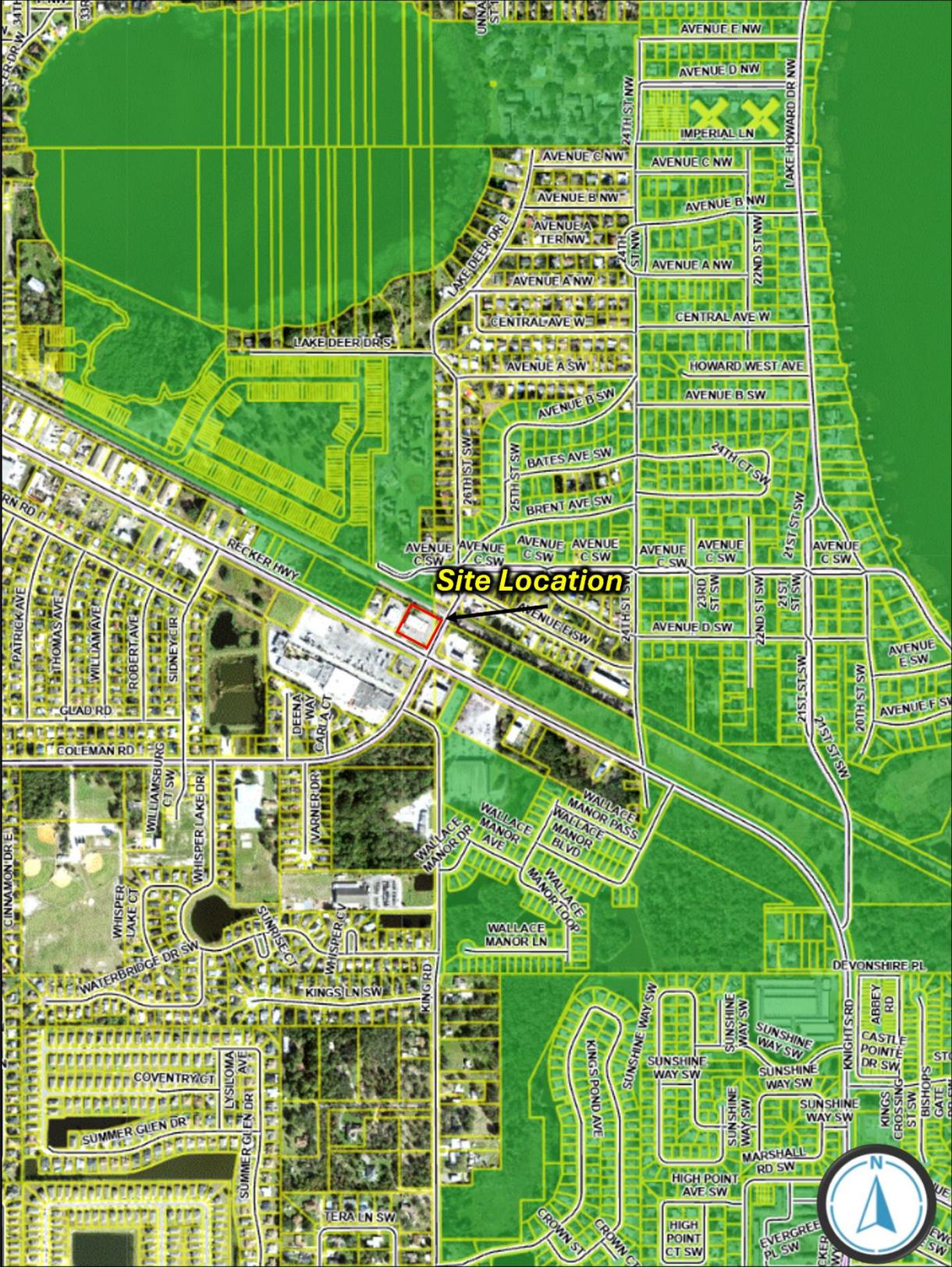
- Exhibit 1 Location Map
- Exhibit 2 Future Land Use Map
- Exhibit 3 Aerial Imagery (Context)
- Exhibit 4 Aerial Imagery (Close)
- Exhibit 5 Site Plan
- Exhibit 6 BC-2025-1312 Structural Plans
- Exhibit 7 Justification



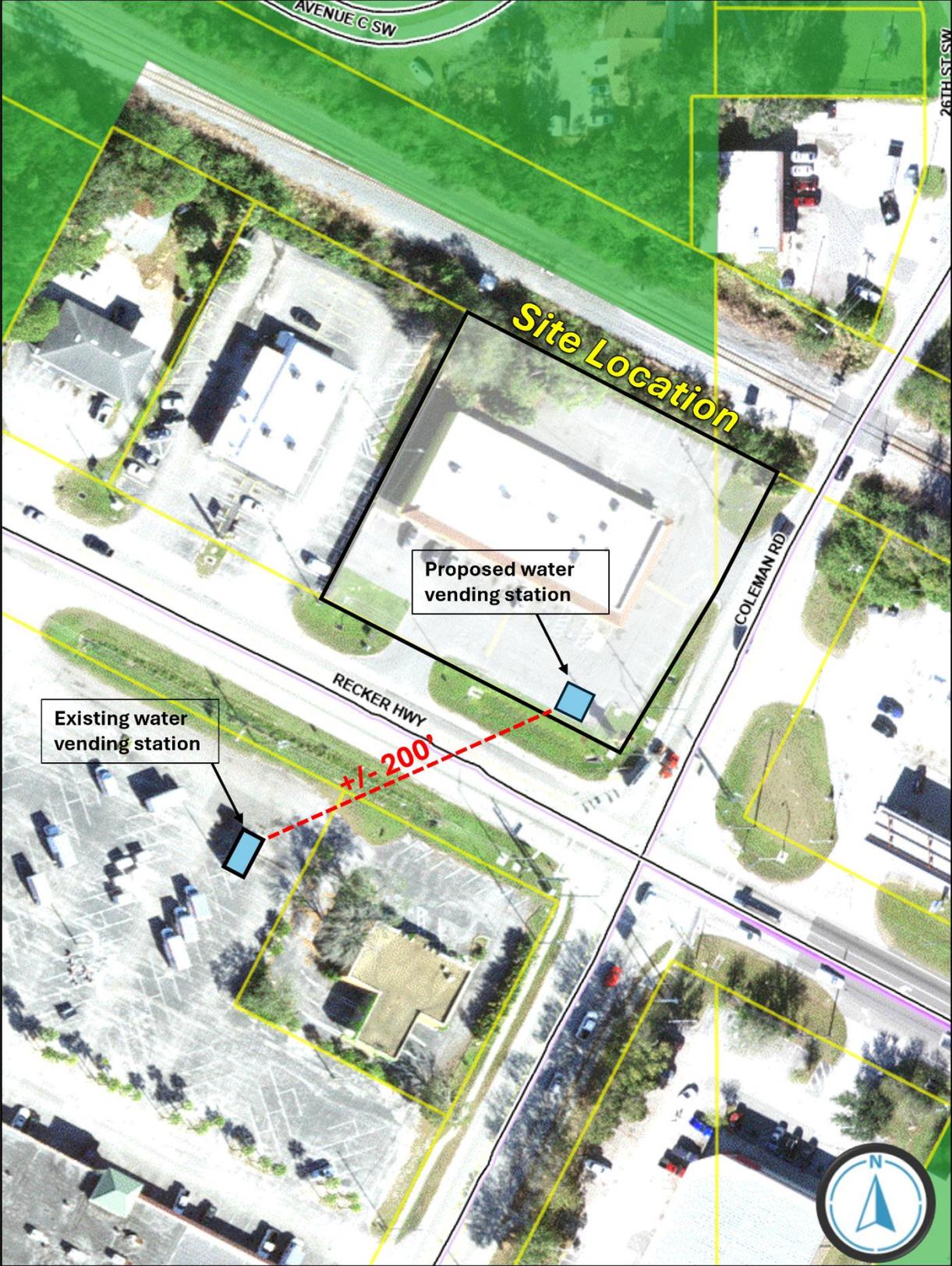
Location Map



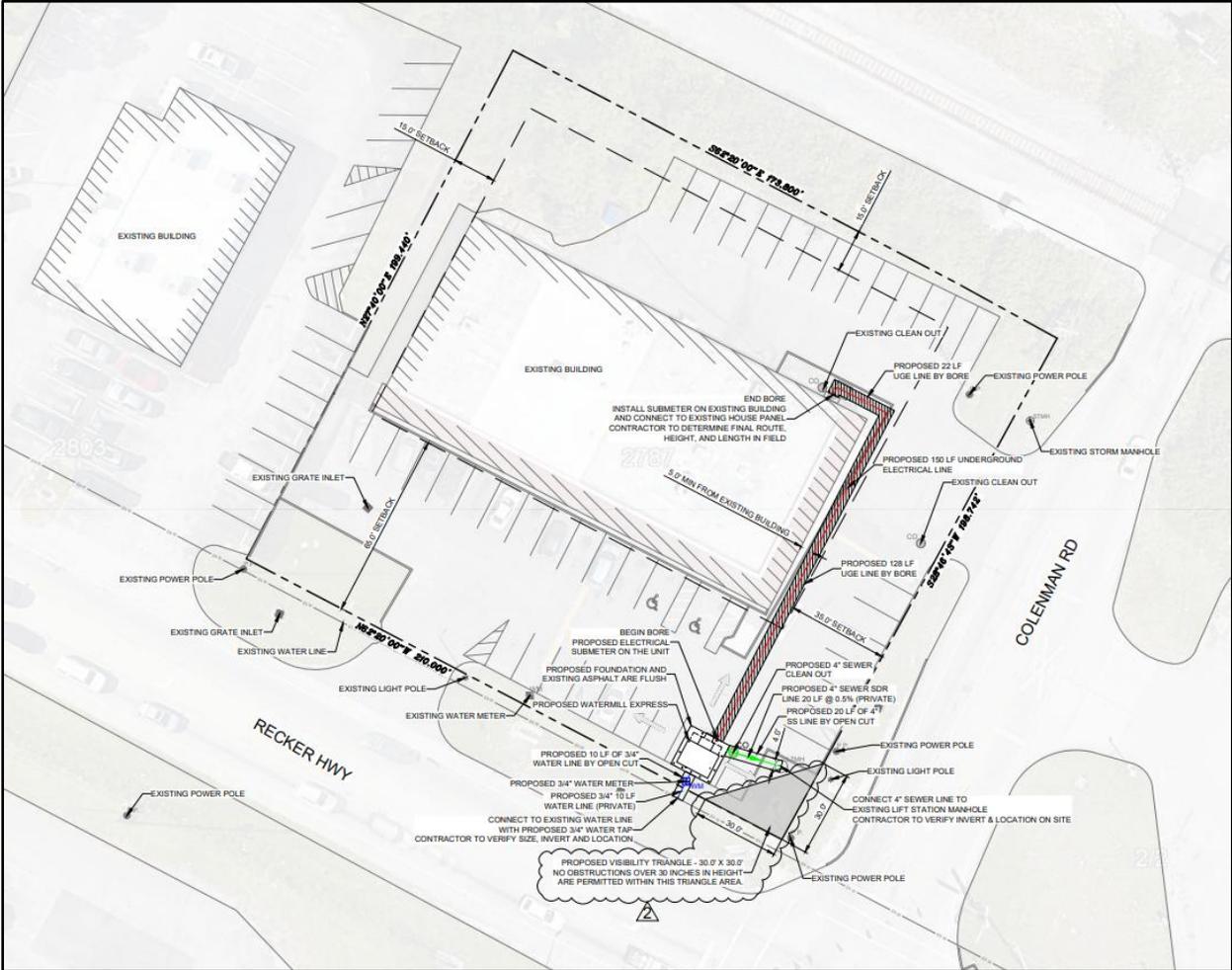
Future Land Use Map



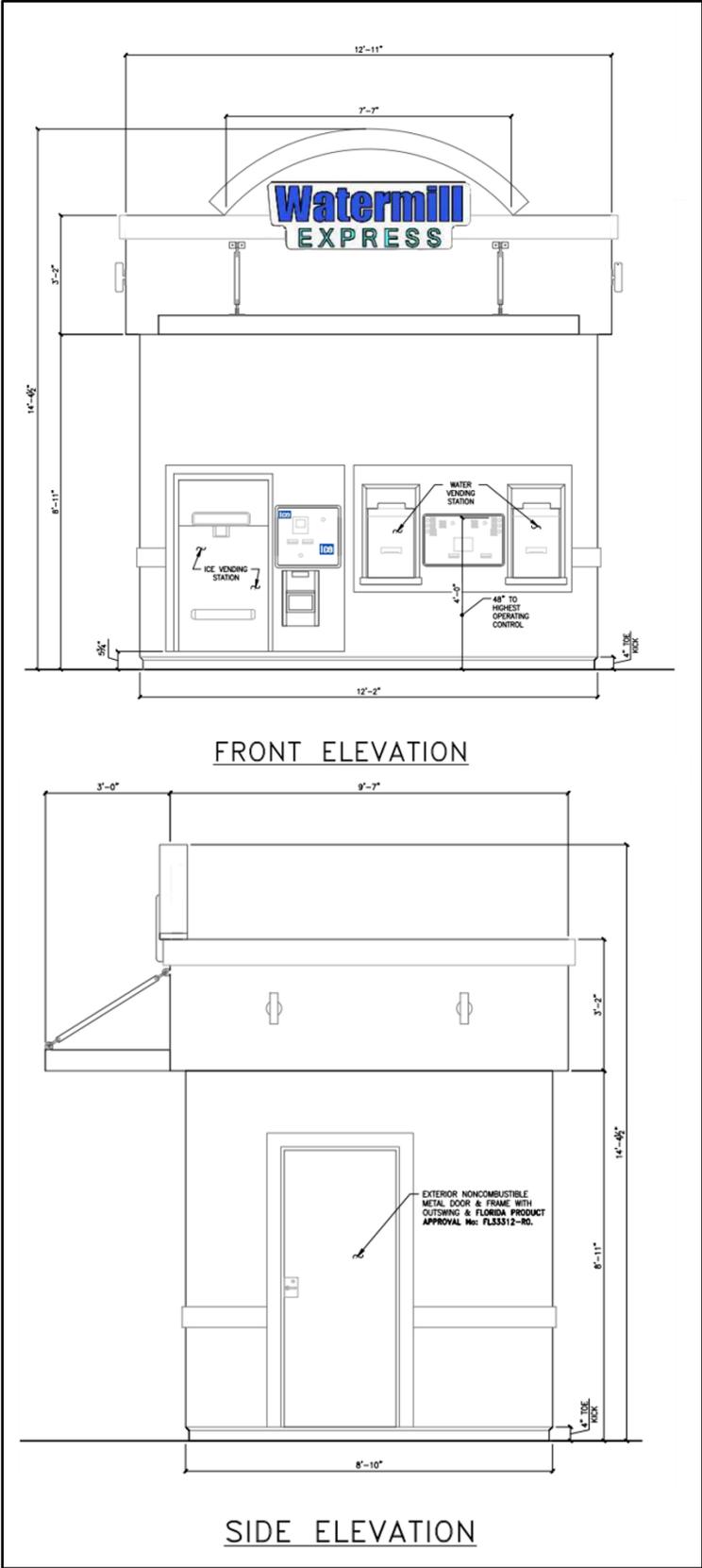
Aerial Imagery (Context)



Aerial Imagery (Close)



Site Plan



BC-2025-1312 Structural Plans

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?
No, if granted, the variance will not impact the public welfare.

What special conditions exist that are peculiar to the land, structure, or building involved?
Due to limited availability on site, the landlord will not allow for the relocation of the unit to another space, which would negate the encroachment.

When did you buy the property and when was the structure built? Permit Number?
We are tenants to the property

What is the hardship if the variance is not approved?
It would not allow us to develop and operate our business.

Is this the minimum variance required for the reasonable use of the land?
Yes

Do you have Homeowners Association approval for this request?
Not applicable

Justification

LDLVAR-2025-78 - WME 171067 - WINTER HAVEN

Menu Reports Help

Application Name: [WME 171067 - WINTER HAVEN](#)

File Date: [12/22/2025](#)

Application Type: [LUHO - Variance](#)

Application Status: [Approved For Hearing](#)

Application Comments: View ID Comment Date

Description of Work: [Installation of a new water vending station at the above location. This station will set on a new 15x15 pad, in 2 leased parking spots. Due to the limited availability for the site and restrictions by the property owner, the unit will be encroaching into the building setbacks for the FRONT \(Recker Hwy is 65'\) and RIGHT SIDE \(Coleman Rd is 35'\). Due to our limitations relocation of the unit is not feasible and we are asking for variance relief to allow our unit to encroach into the setbacks reference above.](#)

Application Detail: [Detail](#)

Address: [2787 RECKER HWY, WINTER HAVEN, FL 33880](#)

Parcel No: [252825000000021060](#)

Owner Name: [STEWART BEATRICE C REVOCABLE LIVING TRUST](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	Michelle Kucaba	Watermill Express	Engineer	Mailing, 1177 S 4th Av...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$541.00](#)

Total Fee Invoiced: [\\$541.00](#)

Balance: [\\$0.00](#)

Custom Fields: [LD_GEN_BOA](#)

GENERAL INFORMATION

Expedited Review

Number of Lots

-

Will This Project Be Phased

Acresage

[0.94](#)

DRC Meeting Time

DRC Meeting

[02/12/2026](#)

Rescheduled DRC Meeting

Rescheduled DRC Meeting Time

-

Green Swamp

Number of Units

[No](#)

-

Case File Number

Is this Polk County Utilities

-

-

One Year Extension

FS 119 Status

-

[Non-Exempt](#)

PUBLIC HEARINGS

Development Type

Application Type

[Land Use Hearing](#)

[Variance](#)

[Officer](#)

Variance Type

Brownfields Request

[Dimensions](#)

-

[Table](#)

Affordable Housing

ADVERTISING

Advertising Board

Legal Advertising Date

[Land Use Hearing](#)

-

[Officer](#)

MEETING DATES

LUHO Hearing Date

[03/26/2026](#)

ALCOHOL BEVERAGE DIST REQ

COMMUNICATION TOWER

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?

[No, if granted, the variance will not impact the public welfare.](#)

What special conditions exist that are peculiar to the land, structure, or building involved?

[Due to limited availability on site, the landlord will not allow for the relocation of the unit to another space, which would negate the encroachment.](#)

When did you buy the property and when was the structure built? Permit Number?

[We are tenants to the property.](#)

What is the hardship if the variance is not approved?

[It would not allow us to develop and operate our business.](#)

Is this the minimum variance required for the reasonable use of the land?

[Yes](#)

Do you have Homeowners Association approval for this request?

[Not applicable](#)

LD_GEN_BOA_EDL

[Opening DigEplan List...](#)

DigEplan Document List

-

PLAN REVIEW FIELDS

TMPRecordID

DocumentGroupForDPC

RequiredDocumentTypes

[POLKCO-25EST-00000-74467](#)

DIGITAL PROJECTS LD

Activate DPC

RequiredDocumentTypesComplete

AdditionalDocumentTypes

Yes

[Yes](#)

[Applications, AutoCad, File Binding, Site Plans \(PDFs and CUs\), CSV Calculations, Correspondence Desig](#)

[n Drawings Flood/Traffic Studies Impact Statement](#),
[Inspections Miscellaneous Plats Record Drawings](#),
[Response Letter Resubmittal Complete Staff Report](#),
[Approval Letter Survey Title Opinion](#)
[DigitalSigCheck](#)
[Yes](#)

Activate FSA
[Yes](#)

PLAN UPLOAD ACKNOWLEDGEMENT

Upload Plans Acknowledgement
[v](#)

LAND USE

Selected Area Plan LU Code

NOR

Neighborhood Organization Registry (NOR)

PUBLIC MAILERS

Posting Board Number of Boards (Number) Number of Mailers (Number) Date Mailed Date Posted NOR

LUHO	2	25	03/11/2026	03/11/2026	
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Workflow Status:

Task	Assigned To	Status	Status Date	Action By
Application Submittal	Saralis Wons	Application ...	01/14/2026	Lisa Simons-Iri...
Roads and Drainage Review	Phil Irven	Approve	01/14/2026	Phil Irven
Planning Review	Kyle Rogus	Approve	02/25/2026	Kyle Rogus
Review Consolidation		Approved for...	02/26/2026	Saralis Wons
Public Notice				
Hearing Officer				
Final Order				
Archive				

Condition Status:

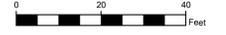
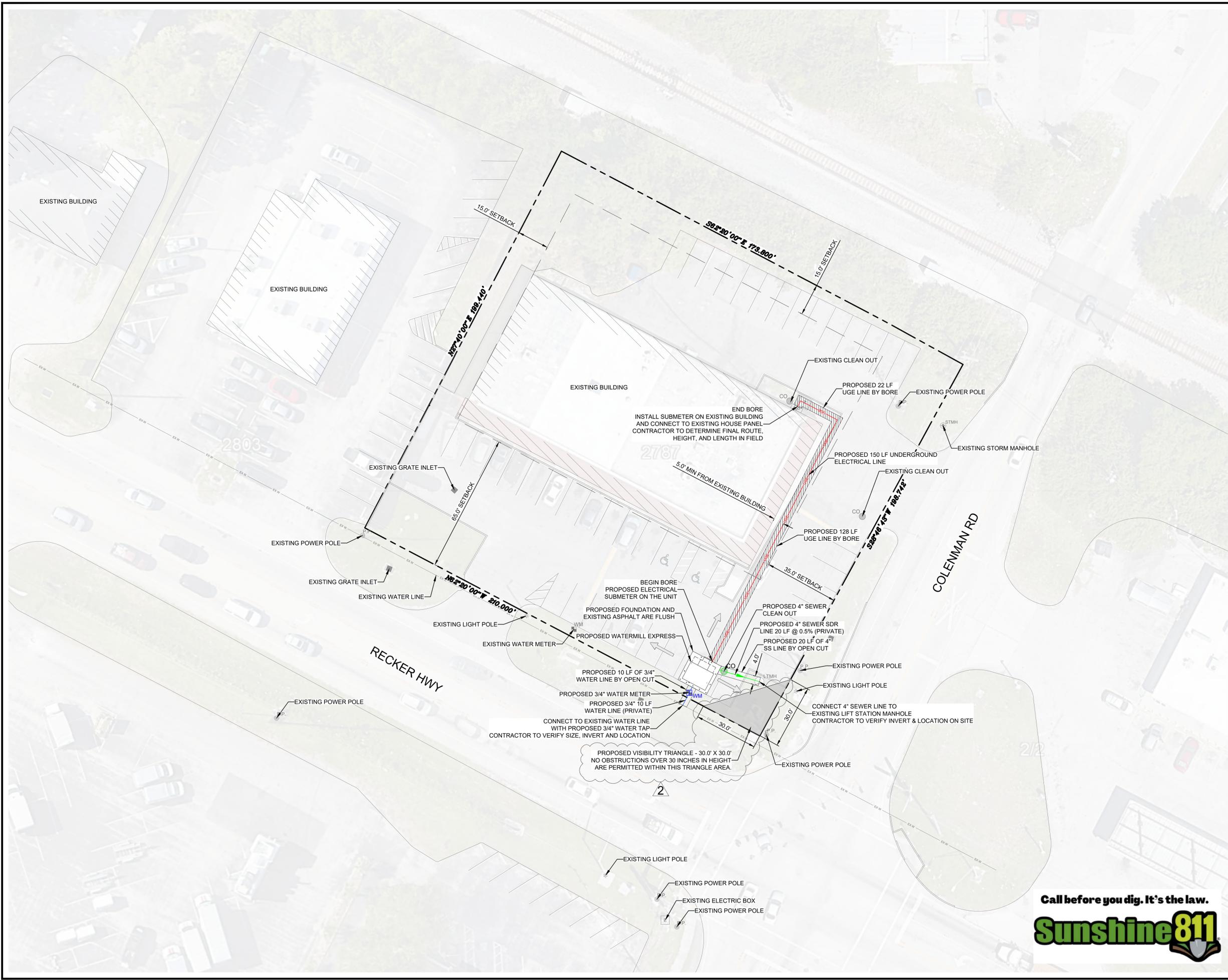
Name	Short Comments	Status	Apply Date	Severity	Action By
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Scheduled/Pending Inspections:

Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:

Inspection Type	Inspection Date	Inspector	Status	Comments
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LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED UNDERGROUND ELECTRICAL LINE
- EXISTING WATER LINE
- PROPOSED BORE
- PROPOSED WATER METER
- PROPOSED SEWER CLEAN OUT
- SURFACE FLOW DIRECTION
- EXISTING LIGHT POLE
- EXISTING POWER POLE
- EXISTING LIFT STATION MANHOLE
- EXISTING STORM MANHOLE
- EXISTING GRATE INLET
- EXISTING TRANSFORMER
- EXISTING HOUSE PANEL

NOTES

1. CONSTRUCTION WILL BE IN ACCORDANCE WITH STANDARD CITY DETAILS AS SHOWN IN THE CITY OF WINTER HAVEN DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS.
2. THE BUILDING ELEVATIONS SHOWN AND APPROVED HEREIN SHALL DEMONSTRATE HOW ALL MECHANICAL EQUIPMENT SHALL BE SCREENED. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT SCREENING OCCURS IN THE FIELD AS DEMONSTRATED BY THESE PLANS. REGARDLESS OF CURB REQUIREMENTS, MECHANICAL PLAN CHANGES, OR OTHER CIRCUMSTANCES. FAILURE TO PROVIDE SCREENING MAY RESULT IN DELAY OF FINAL INSPECTIONS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. ALL WATER AND SEWER SHALL BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR.
4. UTILITY LOCATION BASED ON BEST AVAILABLE DATA. CONTRACTOR TO VERIFY SIZE, LOCATION AND INVERT OF EXISTING UTILITIES ON SITE AND PROVIDE APPROVAL SKETCH FOR THE CONNECTION OF PROPOSED UTILITIES BEFORE COMMENCING CONSTRUCTION.



THIS IS HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MICHAEL GROSELLE USING A DIGITAL SIGNATURE AND DATE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

NO.	DATE	REVISION
1	2026-02-23	ADDED VISIBILITY TRIANGLE PER CITY COMMENT
2	2025-12-12	REVISED SETBACK LINE PER CITY COMMENT

WATERMILL EXPRESS
 2787 RECKER HWY
 CITY OF WINTER HAVEN
 POLK COUNTY, FLORIDA

UTILITY PLAN

MES MODERN ENGINEERING SOLUTIONS 966 DOGWOOD DRIVE GOLDEN, CO 80401 PHONE: (214) 833-6748

DESIGNED: TL	DATE: FEBRUARY 2026	PROJECT #: 174067	SHEET: C3.0
DRAWN: TL	REVIEWER: MG		

Call before you dig. It's the law.
Sunshine 811

WATERMILL EXPRESS



INSTR # 2015190500
 BK 9656 Pgs 804-805 PG(s)2
 RECORDED 10/21/2015 09:05:43 AM
 STACY M. BUTTERFIELD,
 CLERK OF COURT POLK COUNTY
 DEED DOC \$3,080.00
 RECORDING FEES \$18.50
 RECORDED BY courkilb

\$ 440,000.
 R. Boy

Prepared by and return to:
Kathleen R. Price
 Legal Assistant
 Stephen F. Baker PA
 800 First Street South
 Winter Haven, FL 33880-3666
 863-299-2118
 File Number: 15-305
 Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 15th day of **October, 2015** between **Sherman M. Auger** whose post office address is **1802 Sandy Knoll Circle N, Lakeland, FL 33813**, grantor, and **Beatrice C. Stewart as Trustee of the Beatrice C. Stewart Amended and Restated Revocable Living Trust dated January 7, 1993** whose post office address is **2938 Plantation Road, Winter Haven, FL 33884**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Polk County, Florida** to-wit:

Beginning at a concrete marker at the intersection of L. H. Recker Highway (State Road #655) with Coleman Road, run thence North 62°20'00" West along the Northerly right-of-way boundary of L. H. Recker Highway (State Road #655) a distance of 210.0 feet; thence run North 27°40'00" East a distance of 199.44 feet; thence run South 62°20'00" East along the Southerly right-of-way of the Seaboard Coastline Railroad Company, a distance of 173.80 feet to the East boundary of Section 25, Township 28 South, Range 25 East, Polk County, Florida, thence run South 00°05'19" East along said East boundary of Section 25, a distance of 93.5 feet; thence run South 31°03'35" West, along said Coleman Road a distance of 117.08 feet, more or less, to the Point of Beginning.

AND

That part of the NW 1/4 of the SW 1/4 of Section 30, Township 28 South, Range 26 East, Polk County, Florida, lying Southerly of the CSX Right of way and Northwesterly of Coleman Road right of way;

Parcel Identification Number: 252825-000000-021060 & 302826-000000-0131400

Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

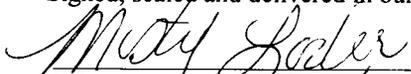
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

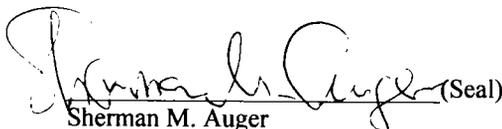
To Have and to Hold, the same in fee simple forever.

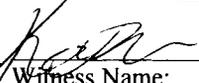
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2014**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


 Witness Name: Misty Loder


 Sherman M. Auger

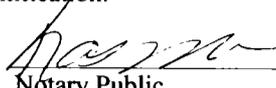

 Witness Name: Kathleen R. Price

6/19/10

State of Florida
County of Polk

The foregoing instrument was acknowledged before me this 15th day of October, 2015 by Sherman M. Auger, who is personally known or has produced a driver's license as identification.

[Notary Seal]



Notary Public

Printed Name: Kathleen R. Price

My Commission Expires: _____



WATERMILL EXPRESS [®]

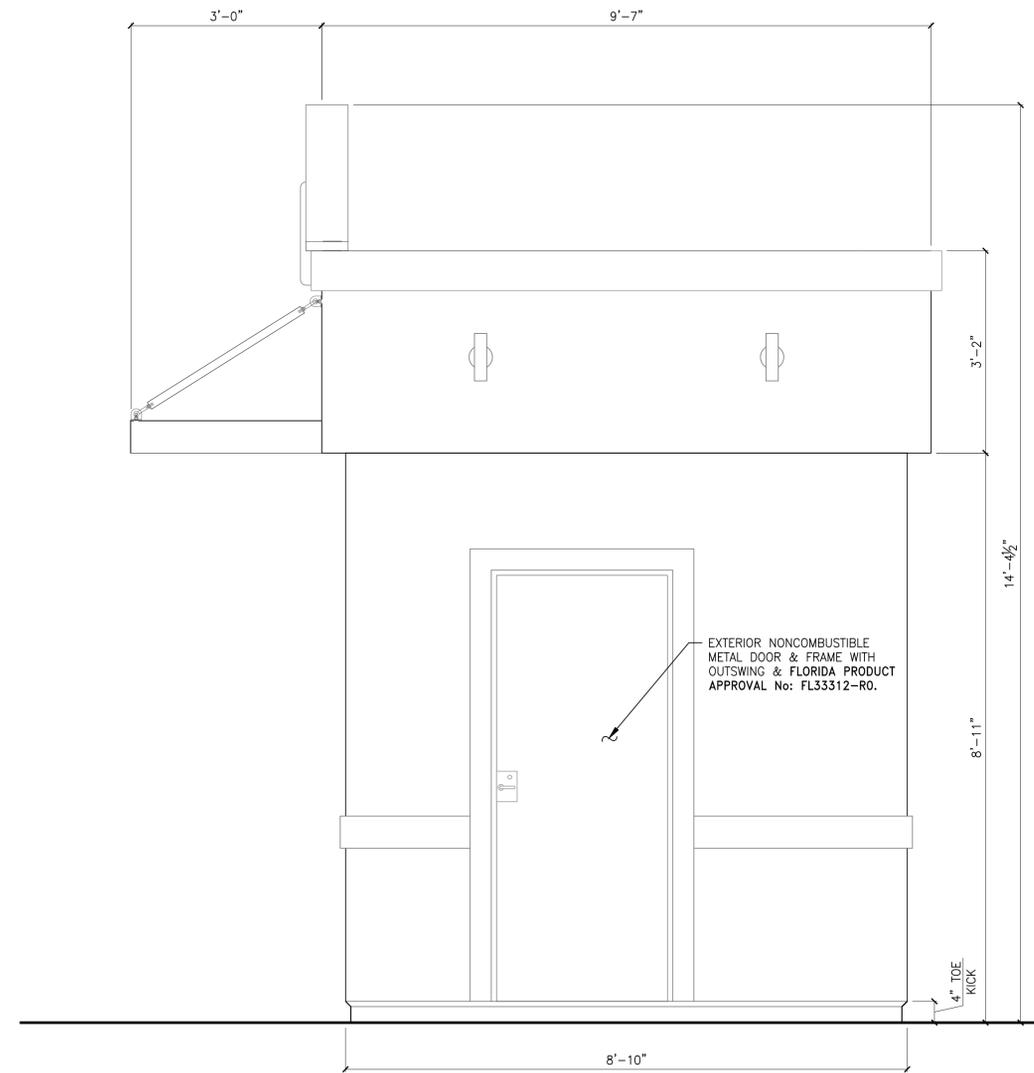
WATER VENDING MACHINE



FRONT ELEVATION

NOTE:
SIGNS ARE SHOWN FOR REFERENCE ONLY.
SIGNAGE MAY REQUIRE A SEPARATE PERMIT.
SIGNAGE IS AFFIXED TO THE UNIT PRIOR
TO SHIPPING TO THE SITE.

THESE DRAWINGS HAVE BEEN REVIEWED AND APPROVED
BY "NTA" A ICC APPROVED THIRD PARTY DESIGN
APPROVAL AGENCY, THAT CERTIFIED THESE DRAWINGS ARE
IN COMPLIANCE WITH 2023 FLORIDA CODES-8th EDITION.
APPROVAL DATE: 2/12/2024
CERT. NO: SMP-056
PLAN NUMBER: MFT-1194-13-247-01-R4
THESE DRAWINGS MAY NOT BE USED AT ANY OTHER SITE
LOCATION THAN THE ONE NOTED ON THESE DRAWINGS.



SIDE ELEVATION

FL MFT#: MFT-1194

LOCATION:
Parcel #: 25-28-25-000000-021060
Latitude: 28.01712°; Longitude: -81.759885°
Polk County
Winter Haven, FL 33880

WATERMILL EXPRESS, INC.
PHONE: (303) 659-1573
FAX: (303) 659-1635
1177 S. 4th AVE.
BRIGHTON, COLORADO
80601

NELSON ENGINEERING
Professional Engineers & Land Surveyors
www.nelsonengineering.net
PO Box 1599 | 430 South Cache St | Jackson, WY 83001
Jackson 307.733.2087 | Buffalo 307.684.7029



THIS ITEM HAS BEEN DIGITALLY
SIGNED & SEALED BY:
CARLA M. HANSEN
ON THE DATE ADJACENT TO THE
SEAL. PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

WATERMILL EXPRESS [®]
WATER VENDING MACHINE

SHEET
TITLE:
**STRUCTURAL
COVER**

DATE: ORIGIN Date:
JUNE 2019
DRAWN:
CMH
CHECKED:
DS
REVISIONS:
SEE SCHEDULE
ON SHEET S0

PROJECT NUMBER:
13-247-01
SHEET NUMBER:
S-Cover

5000 SERIES PROTOTYPE

S:\Proj\2023\1847-01 Watermill Express -2023 Prototype Design\Structural Drawings\VM 5000 TIC Code 2023-NIA Curt & Base Updat.swg Cover Drawing - Aug 12 2025 11:32:29 am PLUTIED BY: hansen

GENERAL NOTES & REQUIREMENTS

PROJECT DESCRIPTION:

- THIS PROJECT CONSISTS OF A PRE-CAST CONCRETE ICE AND WATER VENDING KIOSK. THE KIOSK CONSISTS OF A PRE-CAST CONCRETE BASE UNIT, WITH A PRE-CAST CONCRETE TOP UNIT ABOVE. A PRE-FABRICATED ALUMINUM AWNING FRAME IS ATTACHED TO THE FRONT OF THE CONCRETE TOP UNIT. THE PRE-CAST BASE & TOP UNIT, AS WELL AS THE ALUMINUM AWNING SYSTEM ARE SHOP FABRICATED & ASSEMBLED ON SITE. THE FOUNDATION SYSTEM IS A CONCRETE MATT FOOTING CAST ON SITE.
- THIS DESCRIPTION IS FOR GENERAL ORIENTATION ONLY.
- THE DESIGN APPROACH FOR THIS PROTOTYPE WAS TO USE THE MOST CONSERVATIVE DESIGN CRITERIA FROM A WIDE RANGE OF POTENTIAL KIOSK LOCATIONS. THIS DESIGN CRITERIA USED IS INDICATED BELOW.

CODES & STANDARDS:

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE FOLLOWING CODES & STANDARDS: ALL REFERENCES ARE THE LATEST EDITION UNLESS NOTED OTHERWISE.

- FLORIDA BUILDING CODE 2023 (Eighth Edition).
- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE: ACI 318 (CURRENT VERSION).
- MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES: CURRENT ASCE 7 STANDARD (ASCE 7-22)
- ALUMINUM DESIGN MANUAL: 2020
 - 2023 FLORIDA BUILDING CODE CHAPTER 20
 - AA ASM 35 AND AA ASM 1.
- AISC – STRUCTURAL STAINLESS STEEL DESIGN GUIDE
- STRUCTURAL WELDING CODE – ALUMINUM: AWS D1.2
- ALL SITE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT EDITION OF THE LOCAL BUILDING CODE.
- ADDITIONAL CODES & STANDARDS WHICH ALSO APPLY TO THE PROJECT, HOWEVER DO NOT APPLY DIRECTLY TO THE STRUCTURAL DESIGN OR THESE STRUCTURAL DRAWINGS ARE LISTED IN THE "ADDITIONAL ADOPTED CODES" NOTES SECTION ON THIS DRAWING.
- OCCUPANCY USE GROUP: S2
- CONSTRUCTION TYPE: VB
- FLORIDA PRODUCT APPROVAL PER 61G20-3

DESIGN CRITERIA:

THE DESIGN LOADS FOR CONCRETE SLAB; PRECAST WALL PANELS; AND ALUMINUM CANOPY FRAME ARE AS FOLLOWS:

- GRAVITY DEAD LOADING:
 - LOWER BASE UNIT WALLS & SLAB: 19,604 LBS
 - WATER VENDING PANELS IN FRONT WALL: 535 LBS MIN; 785 LBS MAX.
 - ICE VENDING PANEL IN FRONT WALL: 195 LBS MIN; 350 LBS MAX.
 - DOOR IN SIDE WALL: 240 LBS
 - WATER TANK INSIDE BASE UNIT: 120 LBS (EMPTY)
 - ICE SKID INSIDE BASE UNIT: 1,535 LBS (EMPTY)
 - TOP UNIT WALLS & SLAB: 13,437 LBS
 - AWNING FRAME: 165 LBS
 - ROOF TOP CONDENSERS: (2) @ 170LBS 340 LBS
- BASE UNIT EQUIPMENT LOADS:
 - WATER TANK FULL: 4,290 LBS (MAX)
 - ICE SKID WITH ICE MAKER & ICE: 4,010 LBS (MAX)
- ROOF LIVE LOAD:
 - 20 PSF MINIMUM
- SNOW & RAIN LOADING, WHERE APPLICABLE:
 - FLAT ROOF SNOW LOAD: $P_f = 60 \text{ PSF} > \text{RAIN LOAD} - (\text{Use for All Units})$
 - EXPOSURE FACTOR: $C_e = 1.0$
 - IMPORTANCE FACTOR: 0.8 (RISK CATEGORY 1 BUILDING)
FLORIDA UNITS: RISK CATEGORY II USED PER FBC FOR WIND LOADING. SNOW LOADING IMPORTANCE FACTOR & 60psf Pf SNOW LOAD NOT REQUIRED FOR FLORIDA WITH SNOW LOAD=0psf
 - THERMAL FACTOR: $C_t = 1.0$
 - SLOPE FACTOR: $C_s = 1.0$
- WIND LOADING:
THIS STRUCTURE IS NOT INTENDED TO BE PLACED IN HIGH VELOCITY HURRICANE ZONES (HVHZ), AND THEREFORE HAS NOT BEEN APPROVED TO BE PLACED IN SUCH ZONES.
 - BASIC WIND SPEED: $V_{ult} = 170 \text{ MPH [MAX]} (3\text{-SECOND GUST})$
 $V_{sd} = 132 \text{ MPH [MAX]}$
 - RISK CATEGORY= II (ASCE 7-22-Fig. 32.1-2; Risk Cat. II – Tornado Loads Not Reqd)
 - EXPOSURE CATEGORY= D
 - IMPORTANCE FACTOR= 1.0
 - ENCLOSURE CLASSIFICATION: ENCLOSED
 - BASE UNIT WALL – DESIGN PRESSURES:

	$NET +GC_{pi}$	$NET -GC_{pi}$
56 PSF (WINDWARD)		32 PSF (WINDWARD)
16 PSF (LEEWARD)		40 PSF (LEEWARD)
 - ROOF DESIGN PRESSURES: 84 PSF (UPLIFT – MAX.)
 - TOP UNIT WALL – DESIGN PRESSURES: 98 PSF (WINDWARD)
65 PSF (LEEWARD)
 - INTERNAL PRESSURE COEFFICIENT, $GC_{pi} = \pm 0.18$
 - CANOPY PRESSURES: 148 PSF (UPLIFT – MAX)
- SEISMIC LOADING:
 - RISK CATEGORY= II (FLORIDA UNITS ONLY)
 - IMPORTANCE FACTOR= 1.0
 - SPECTRAL RESPONSE ACCELERATION PARAMETERS: [Maximum parameters associated with this dwg set]

$S_s = 0.12 \text{ g (MAX)}$
$S_1 = 0.06 \text{ g (MAX)}$
$S_{ds} = 0.122 \text{ (MAX)}$
$S_{d1} = 0.10 \text{ (MAX)}$
 - SITE CLASS: D
 - SEISMIC DESIGN CATEGORY= B [Max. for this drawing set & Florida]
 - SEISMIC FORCE RESISTING SYSTEM:

$R = 5.0$
$C_d = 2.5$
$\Omega = 2.5$
$p = 2.5$
 - BASE SHEAR $V \leq 0.1134W$ (Allowed for these drawings)
 - OUT OF PLANE FORCES ON STRUCTURAL WALLS: $F_p \leq 0.227W_w$ (Allowed for these drawings)

EQUIVALENT LATERAL FORCE PROCEDURE USED, WITH BASE SLAB & TOP UNIT SLAB DESIGNED AS STRUCTURAL DIAPHRAGMS.

- SOILS:
 - ALLOWABLE BEARING PRESSURE: 1,500 PSF
 - COEFFICIENT OF FRICTION: 0.35

FOUNDATION SLAB NOTES:

SEE TYPICAL FOUNDATION NOTES ON SHEET NO. S1 OF THESE DRAWINGS:

- CAST IN PLACE CONCRETE: THE STRUCTURAL DESIGN OF THE FOOTING FOUNDATION IS BASED ON A SPECIFIED COMPRESSIVE STRENGTH f'_c OF 2,500 psi.

SEE SITE SPECIFIC REQUIREMENTS WHERE COMPRESSIVE STRENGTH IS TO EXCEED THIS DESIGNED VALUE.

PRE-CAST UNIT NOTES:

SEE TYPICAL PRE-CAST UNIT NOTES FOR BASE UNIT & TOP UNIT ON SHEET NO. S2 & S3 OF THESE DRAWINGS:

- PRE-CAST BASE & TOP UNITS SHALL RECEIVE ONE COAT OF BONDING AGENT AND ACRYLIC-BASED TEXTURED FINISH; PER THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS PRIOR TO THE FINAL FINISH.

SPECIALTY INSPECTIONS:

THE FOLLOWING SPECIALTY INSPECTIONS SHALL BE PERFORMED IN THE FIELD, DURING CONSTRUCTION & INSTALLATION OF NOTED COMPONENTS:

- POST INSTALLED ANCHORS INTO HARDENED CONCRETE SHALL BE PERIODICALLY INSPECTED.
 - POST INSTALLED ANCHORS FOR THIS PROJECT INCLUDE ANCHORAGE OF CONDENSING UNITS ONLY. VERIFY WITH INSTALLER AT THE SITE IF CONDENSING UNITS ARE TO BE FIELD INSTALLED, OR IF THEY WERE FACTORY INSTALLED.
- REINFORCING STEEL PLACED IN THE FIELD FOR CAST IN PLACE CONCRETE, SHALL BE PERIODICALLY INSPECTED.

SPECIALTY INSPECTIONS TO BE PROVIDED BY AN APPROVED AGENCY, SPECIFIED BY THE OWNER. ALL SPECIALTY INSPECTIONS TO BE CONDUCTED AND REPORTS PROVIDED IN ACCORDANCE WITH THE CURRENT LOCAL BUILDING CODE.

LOCATION NOTES & ON-SITE REQUIREMENTS:

- THESE DRAWINGS SHALL NOT BE USED IN ANY LOCATION OR BY ANY REVIEWING AUTHORITY OTHER THAN THAT INDICATED IN THE LOWER RIGHT HAND CORNER OF THESE DRAWINGS, AS THESE DRAWINGS WERE PREPARED AND APPROVED FOR THE SPECIFIED LOCATION OR REVIEWING AUTHORITY ONLY.
- USE OF THESE DRAWINGS FOR ANY OTHER LOCATION; SITE; TOWN/CITY; COUNTY; OR STATE WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD IS PROHIBITED, AND WILL VOID THE VALIDITY OF THESE DRAWINGS.
- THE EXTERIOR WALLS OF THE BASE UNIT AND THE PARAPET WALLS OF THE TOP UNIT ARE CONSTRUCTED OF PRECAST CONCRETE, THEREFORE ARE OF NONCOMBUSTIBLE MATERIAL.
- THE FRONT AWNING IS CONSTRUCTED OF ALUMINUM TUBE STEEL WITH ALUMINUM PLATE.
- THE EXTERIOR DOOR IS NONCOMBUSTIBLE METAL DOOR AND FRAME.
- EXTERIOR OUTSWING DOOR WITH FLORIDA PRODUCT APPROVAL #: FL33312-RO SHALL BE USED.
- ELECTRONIC SEALED SET OF PLANS ARE ON FILE IN THE 3rd PARTY AGENCY'S OFFICE AS DIRECTED BY DBPR.
- THIS BUILDING IS SUBJECT TO REVIEW AND APPROVAL OF FIRE INSPECTOR ON SITE WITH COMPLIANCE WITH CH. 633 FIRE SAFETY CODE.
- THIS STRUCTURE HAS BEEN DESIGNED FOR ERECTION OR INSTALLATION ON A SITE BUILT PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED OR INSTALLED.
- SITE ADDRESS PER FBC 501.2 VERIFIED AT SITE BY LOCAL AHJ.
- ON SITE ITEMS SUBJECT TO LOCAL APPROVAL:
 - ELECTRIC SERVICE METER; SERVICE DISCONNECT; SERVICE CONDUIT; GROUND ROD; PLUMBING WASTE AND VENT; FLOOR DRAIN; WATER SUPPLY LINE; BACKFLOW PREVENTER (RPZ); SUPPLY CUTOFF VALVE.
 - FOUNDATION & BOLLARDS
- PLUMBING CANNOT DRAIN ONTO THE PUBLIC WAY.

SPECIAL CONDITIONS/LIMITATIONS:

- THE WALL/BASE UNIT AND THE ROOF (TOP UNIT) ARE FABRICATED SEPARATELY & SHIPPED SEPARATELY.
- THE WALL/BASE UNIT AND THE ROOF UNIT CONNECTION IS SUBJECT TO LOCAL INSPECTION.
- THE TOP UNIT IS TO BE ATTACHED ON SITE. SEE DETAILS 1 & 3 ON DRAWING S3.
- DECAL IS TO BE AFFIXED NEAR THE DOOR FRAME.
- INSIGNIA & DATA PLATE IS TO BE AFFIXED INSIDE THE ELECTRICAL PANEL BOX.
- THE BASE SERIAL NUMBER SHALL BE LOCATED ON THE DOOR FRAME.
- THE ROOF SERIAL NUMBER SHALL BE LOCATED ON THE INSIDE OF THE ROOF CURB VISIBLE FROM THE INSIDE.
- THIS BUILDING IS NOT DESIGNED TO BE HEATED AND COOLED AND IS EXEMPT FROM ENERGY ENVELOPE COMPLIANCE IN ACCORDANCE WITH IECC SECTION C402.1.1(2).
- THIS STRUCTURE IS NOT DESIGNED FOR HIGH VELOCITY HURRICANE ZONES (HVHZ) AND IS NOT APPROVED TO BE PLACED IN MIAMI/DADE COUNTY; BROWARD COUNTY; OR ANY AREAS THAT EXCEED THE DESIGN WIND LOADING INDICATED ON THIS DRAWING.
 - PROJECT ENGINEER TO VERIFY INTENDED LOCATION AND THESE DRAWINGS SHALL NOT BE USED FOR ANY LOCATION OTHER THAN THAT NOTED ON THIS DRAWING SET.

ADDITIONAL ADOPTED CODES:

ADDITIONAL CODES & STANDARDS WHICH APPLY TO THE PROJECT, HOWEVER DO NOT DIRECTLY APPLY TO THE STRUCTURAL DESIGN OR THESE STRUCTURAL DRAWINGS INCLUDE:

- 2023 FLORIDA PLUMBING CODE (8th EDITION), & 2023 FLORIDA BUILDING CODE AS APPLICABLE.
- 2023 FLORIDA ENERGY CODE (8th EDITION).
 - THIS UNIT MEETS C101.4.2.3 AS DESCRIBED IN SECTION C402.1.1.
- 2023 FLORIDA MECHANICAL CODE (7th EDITION)

THESE DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY "NTA" A ICC APPROVED THIRD PARTY DESIGN APPROVAL AGENCY, THAT CERTIFIED THESE DRAWINGS ARE IN COMPLIANCE WITH 2023 FLORIDA CODES-8th EDITION. APPROVAL DATE: 2/12/2024
CERT. NO: SMP-056
PLAN NUMBER: MFT-1194-13-247-01-R4
THESE DRAWINGS MAY NOT BE USED AT ANY OTHER SITE LOCATION THAN THE ONE NOTED ON THESE DRAWINGS.

STRUCTURAL DRAWING INDEX

S-COVER – STRUCTURAL COVER PAGE

S0 – NOTES & REVISIONS

S1 – FOUNDATION PLAN & DETAILS

*S2 – BASE UNIT PLAN & WALL ELEVATIONS

*S3 – TOP UNIT PLAN & WALL ELEVATIONS

*S4 – AWNING DETAILS

NOTE:

Drawings *S2; *S3; & *S4 are for PRECAST and PRE-ENGINEERED systems (precast concrete Base Unit; precast concrete Top Unit; and prefabricated Aluminum awning).

At Owners (WATERMILL EXPRESS INC.) request and upon approval from the Local Building Department Authority – Drawings S2; S3; & S4 may not need to be submitted for approval by the building department as are approved under the NTA 3rd party Review and are precast and pre-assembled systems. However these noted drawing pages can be provided to the building department upon request.

REVISIONS:

No.:	DATE:	DESCRIPTION:
△	4/10/2015	<ul style="list-style-type: none"> ADDED SPECIALTY INSPECTION NOTES TO THE GENERAL REQUIREMENTS ON DRAWING S0. UPDATED DRAWING S1, NOTE 4, TO INCLUDE SPECIALTY INSPECTIONS. UPDATED DRAWING S3, NOTE 12, TO INCLUDE SPECIALTY INSPECTIONS. ADDED LOCATION NOTES, FOR INTENDED PLACEMENT OF UNIT.
△	3/4/2016	<ul style="list-style-type: none"> MODIFIED BASE UNIT FOUNDATION KEY PLAN & EPOXY NOTES TO INCLUDE VERS-A-SHIM SHIM STRIPS; & EPOXY GEL PROPERTIES FOR "OR EQUAL" PRODUCT COMPARISON.
△	7/8/2016	<ul style="list-style-type: none"> MODIFIED SEISMIC GROUND MOTION DESIGN & MAX SEISMIC VALUES FOR NEW MEXICO
△	Nov./2016	<ul style="list-style-type: none"> UPDATED DRAWINGS FOR UPDATED CODES, INCLUDING IBC 2015 & ACI 318-14. ADDED TWO ADDITIONAL BOLLARDS AT THE BACK SIDE OF THE UNIT FOUNDATION PLAN. UPDATED TITLE BLOCK FOR RADCO APPROVAL, & ADDED SPECIAL CONDITIONS/LIMITATIONS NOTES. MODIFIED DETAILS 3/S3 & 4/S3 FOR REQUESTED CHANGES. MODIFIED NOTE 10 ON DRAWING S3; & NOTE 2 ON DRAWING S4.
△	Dec./2016	<ul style="list-style-type: none"> ADDED NOTE #1 UNDER "SPECIAL CONDITIONS/LIMITATIONS" ON DRAWING S0. ADDED NOTE #2 UNDER "SPECIAL CONDITIONS/LIMITATIONS" ON DRAWING S0. ADDED NOTE #6 UNDER "SPECIAL CONDITIONS/LIMITATIONS" ON DRAWING S0. ADDED NOTE #7 UNDER "SPECIAL CONDITIONS/LIMITATIONS" ON DRAWING S0. ADDED NOTE #9A UNDER "PRE-CAST BASE UNIT NOTES" ON DRAWING S2. ADDED NOTE #9A UNDER "PRE-CAST TOP UNIT NOTES" ON DRAWING S3.
△	July/2018	<ul style="list-style-type: none"> AWNING FRAME TUBE STEEL TO BE 6061-T6. (UPDATED NOTES ON DRAWING S4)
△	August/2018	<ul style="list-style-type: none"> INCLUDED APPENDICES C, F, K, & TX AMENDMENTS TO 2015 IBC CODE COMPLIANCE. INCLUDED ADOPTED CODES NOTE ON DRAWING S0. AMENDED SPECIAL CONDITIONS/LIMITATIONS TO INCLUDE NOTE #8.
△	Feb./2019	<ul style="list-style-type: none"> UPDATED TITLE BLOCK WITH WATERMILL EXPRESS'S NEW LOCATION & ADDRESS.
△	June/2019	<ul style="list-style-type: none"> UPDATED DRAWING SET FOR 2017 FLORIDA BUILDING CODE.
△	March/2020 April/2020 May/2020	<ul style="list-style-type: none"> UPDATED COVER DRAWING; S0; S3; & S4 IN DRAWING SET FOR PLAN CHECK REVISIONS FOR 2017 FLORIDA BUILDING CODE. UPDATED BOLLARD CAP COVER FROM PVC CAP TO HDPE SLEEVE UPDATED S0, DESIGN CRITERIA #4; & #6 PER REVIEW COMMENTS. UPDATED S1 – ADDED NOTE #20; S2 & S3 – REVISED NOTES #5.
△	October/2020	<ul style="list-style-type: none"> UPDATED COVER PAGE & S0 TO INCLUDE FLORIDA PRODUCT APPROVAL FL3905-R9 FOR EXTERIOR DOOR. ADDED FLORIDA PRODUCT APPROVAL UNDER CODES & STANDARDS. MODIFIED LOCATION NOTES HEADER & ADDED ADDITIONAL NOTES UNDER LOCATION NOTES & ON-SITE REQUIREMENTS.
△	April/2021	<ul style="list-style-type: none"> UPDATED DRAWING SET FOR 2020 FLORIDA BUILDING CODE & ASSOCIATED ASCE 7-16. UPDATED OUTSWING DOOR NOTES ON COVER PAGE & S0 FOR PRODUCT APPROVAL: FL3905-R10
△	October/2022	<ul style="list-style-type: none"> UPDATED DRAWINGS FOR 2021 & 2022 SUPPLEMENTS TO THE 2020 FLORIDA BUILDING CODE: S0. UPDATED OUTSWING DOOR NOTES ON COVER PAGE & S0 WITH PRODUCT APPROVAL: FL33312-RO UPDATES TO BASE UNIT FLOOR OPENINGS: S2.
△	December/2022	<ul style="list-style-type: none"> REMOVED GRAVEL OPENING IN FOUNDATION. REMOVED TELECOM OPENING: S1.
△	May/2023	<ul style="list-style-type: none"> UPDATED NTA NOTE WITH MOST RECENT NTA REVIEW & APPROVAL.
△	October/2023	<ul style="list-style-type: none"> REVISED BOLLARD DETAIL DRAWING S1.
△	January/2024 March/2024	<ul style="list-style-type: none"> UPDATED DRAWINGS FOR 2023 FLORIDA BUILDING CODE & ASCE 7-22. UPDATED NTA APPROVAL STAMP – APPROVED 2/12/2024
△	June/2024	<ul style="list-style-type: none"> UPDATED S1 & S2 FOR ANGLE BRACKET CONNECTION OF BASE UNIT TO FOUNDATION SLAB, REVISED BOLLARD DETAIL S1. ADDED NOTES ON DRAWING S1 REGARDING ANGLE BRACKET OPTION VERSUS EPOXY OPTION FOR ANCHORAGE OF BASE UNIT TO FOUNDATION SLAB.
	July/2024	<ul style="list-style-type: none"> ADDED SOIL LOADING DIAGRAM TO S1 – FOUNDATION PLAN

REVISIONS MADE TO THE PROJECT DRAWINGS PRIOR TO SUBMITTAL TO FLORIDA FOR REVIEW ARE NOTED AS: TEXT

LOCATION:

Parcel #: 25-28-25-000000-021060
Latitude: 28.01712°; Longitude: -81.759885°
Polk County
Winter Haven, FL 33880

WATERMILL EXPRESS, INC.
PHONE: (303) 659-1573
FAX: (303) 659-1635
1177 S. 4th AVE.
BRIGHTON, COLORADO 80601

NELSON ENGINEERING
Professional Engineers & Land Surveyors
www.nelsonengineering.net
PO Box 1599 | 430 South Cache St | Jackson, WY 83001
Jackson 307.739.2087 | Buffalo 307.684.7029



THIS ITEM HAS BEEN DIGITALLY SIGNED & SEALED BY CARLA M. HANSEN ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

WATERMILL EXPRESS
WATER VENDING MACHINE

SHEET TITLE:
NOTES & REVISIONS

DATE: ORIGIN Date:
JUNE 2019
(See Dated Engineer Stamp for Drawing date)

DRAWN:
CMH

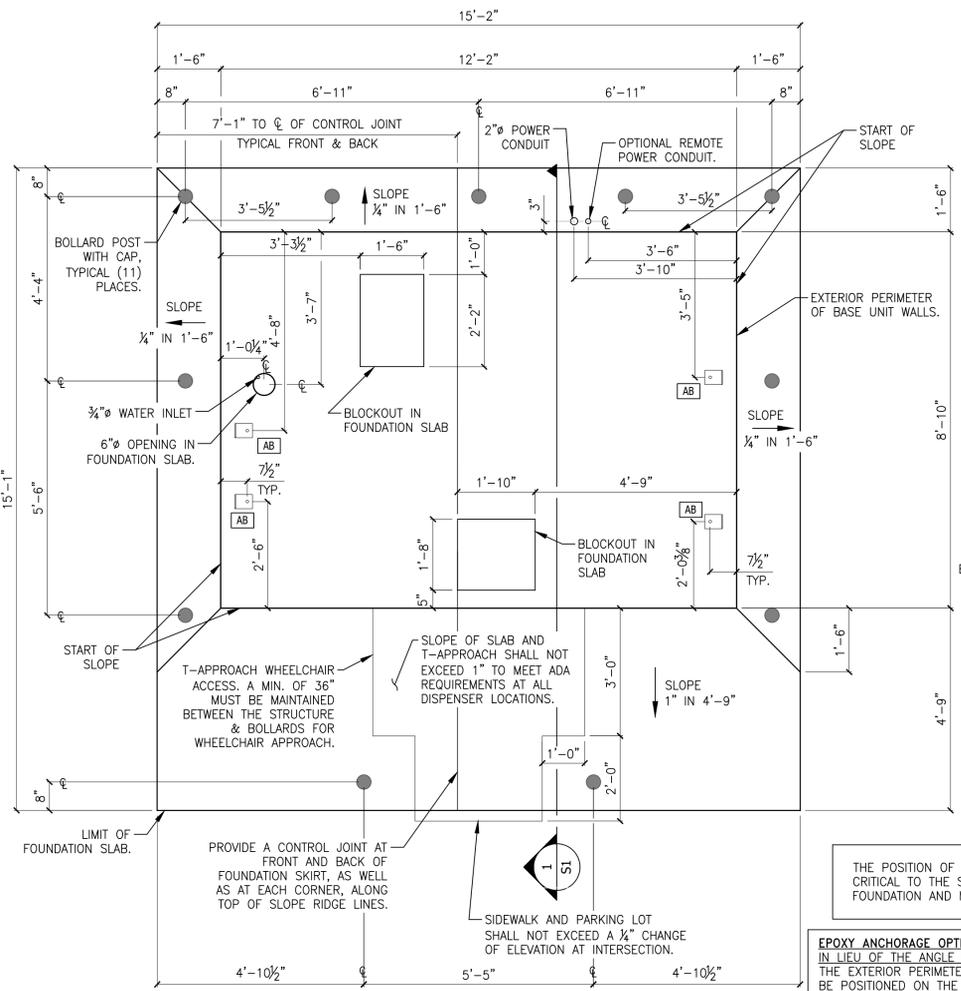
CHECKED:
DS

REVISIONS:
SEE SCHEDULE ON SHEET S0

PROJECT NUMBER:
13-247-01

SHEET NUMBER:
S0

OF 6 SHEETS



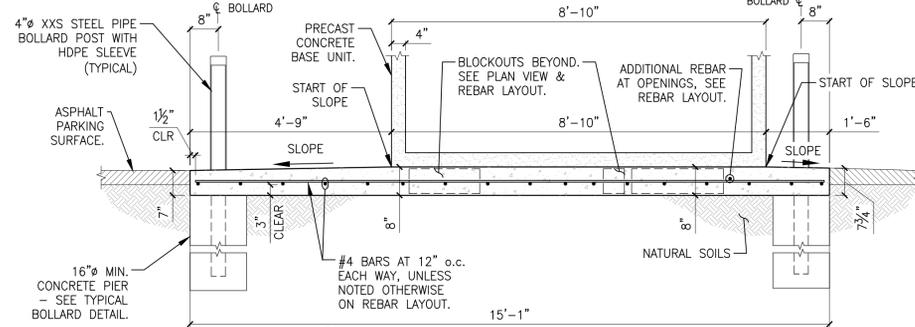
FOUNDATION PLAN - OPTION A
Scale: 1/2" = 1'-0" (24x36)

THE BASE UNIT SHALL BE ATTACHED TO THE FOUNDATION SLAB WITH EITHER THE ANGLE BRACKET OPTION -OR- THE EPOXY ANCHORAGE OPTION, BOTH INDICATED ON THIS DRAWING.

ANGLE BRACKET OPTION:
IN LIEU OF THE PRIME GEL 2000 EPOXY: 5x5x3/8 x 4" STEEL ANGLE BRACKET WITH STAINLESS STEEL HILTI KWIK BOLT 3 ANCHORS INTO FOUNDATION SLAB & ENDWALLS. SEE DETAILS ON DRAWING S2.

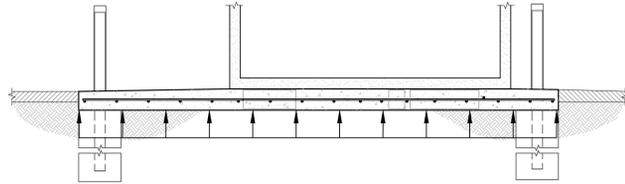
EPOXY ANCHORAGE OPTION:
IN LIEU OF THE ANGLE BRACKETS: THE EXTERIOR PERIMETER OF THE PRECAST BASE UNIT SHALL BE POSITIONED ON THE FOUNDATION SLAB AS INDICATED. THE PRECAST BASE UNIT SHALL BE SECURED TO THE FOUNDATION SYSTEM WITH A "PRIME GEL 2000 HIGH MOD" HIGH STRENGTH MULTI PURPOSE STRUCTURAL EPOXY GEL ADHESIVE (OR EQUAL). THE GEL ADHESIVE SHALL BE SPREAD IN A 3" ± WIDE STRIP AROUND THE PERIMETER OF THE CENTER FOUNDATION SECTION.
APPROVED SUBSTITUTION EPOXY GELS TO HAVE THE FOLLOWING PROPERTIES:
• COMPRESSIVE STRENGTH: ≥ 9,500 psi
• TENSILE STRENGTH: ≥ 3,750 psi
• BOND STRENGTH: ≥ 3,430 psi (2 day cure)

THE POSITION OF THE BOLLARDS IS NOT CRITICAL TO THE STRUCTURAL INTEGRITY OF THE FOUNDATION AND MAY BE ADJUSTED AS NEEDED.



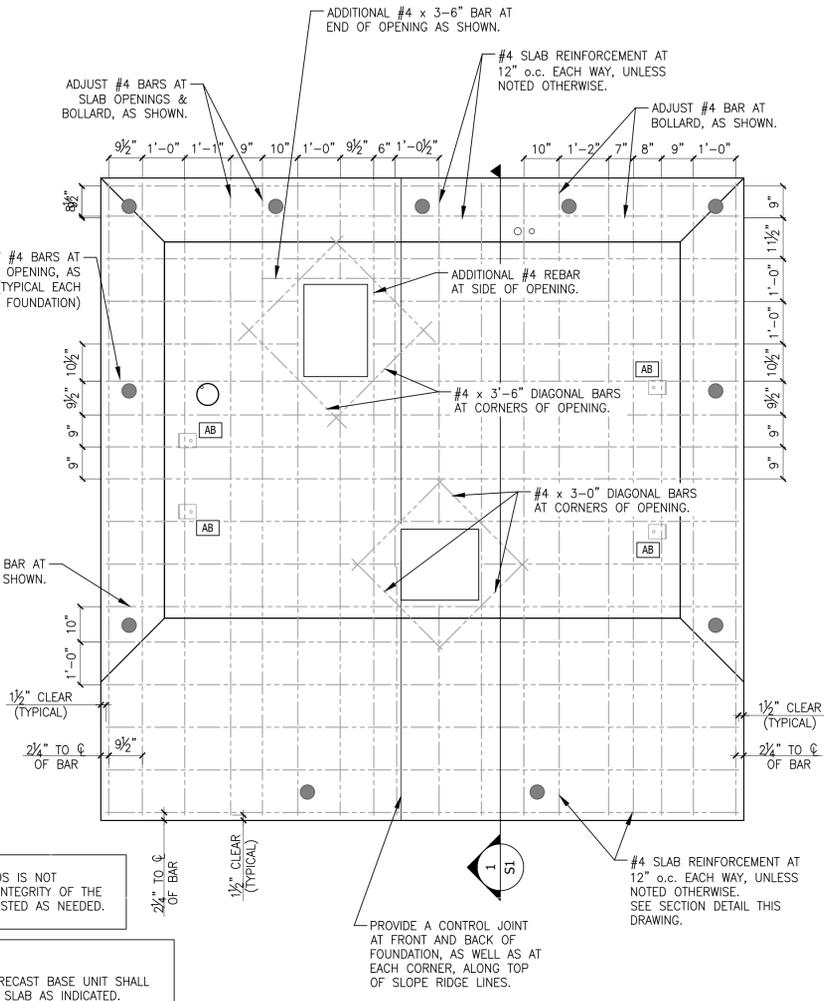
FOUNDATION SECTION S1
Scale: 1/2" = 1'-0" (24x36)

LOCAL APPROVAL IS REQUIRED FOR PRESUMPTIVE LOAD-BEARING VALUES OF SOILS IN RELATION TO MAXIMUM FOUNDATION DUE TO VERTICAL LOADING (Resultant Soil Pressure against foundation due to vertical loading down onto soil)
LC: D + 0.75(0.6W) + 0.75S: 1,007 psf
LC: D + 0.6W: 840 psf
[With 60psf SL/Rain=1007psf WithOUT Snow/Rain Load=840 psf]

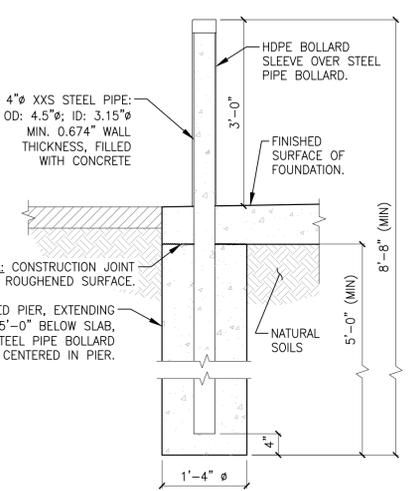


FOUNDATION LOADING DIAGRAM
Scale: N.T.S.

FOUNDATION BEARING NOTES:
1. DESIGN CONDITIONS USED FOR ALLOWABLE BEARING PRESSURE ON EXISTING SITE SOILS IS: 1,500 PSF. THIS ALLOWABLE BEARING PRESSURE IS THE MINIMUM BEARING PRESSURE DEFINED PER FBC TABLE 1806.2 FOR PRESUMPTIVE LOAD-BEARING VALUES OF SOILS. THE ASSOCIATED CLASS OF MATERIALS FOR THIS BEARING VALUE IS: CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT, AND SANDY SILT (CL, ML, MH & CH).



FOUNDATION PLAN REBAR LAYOUT
Scale: 1/2" = 1'-0" (24x36)

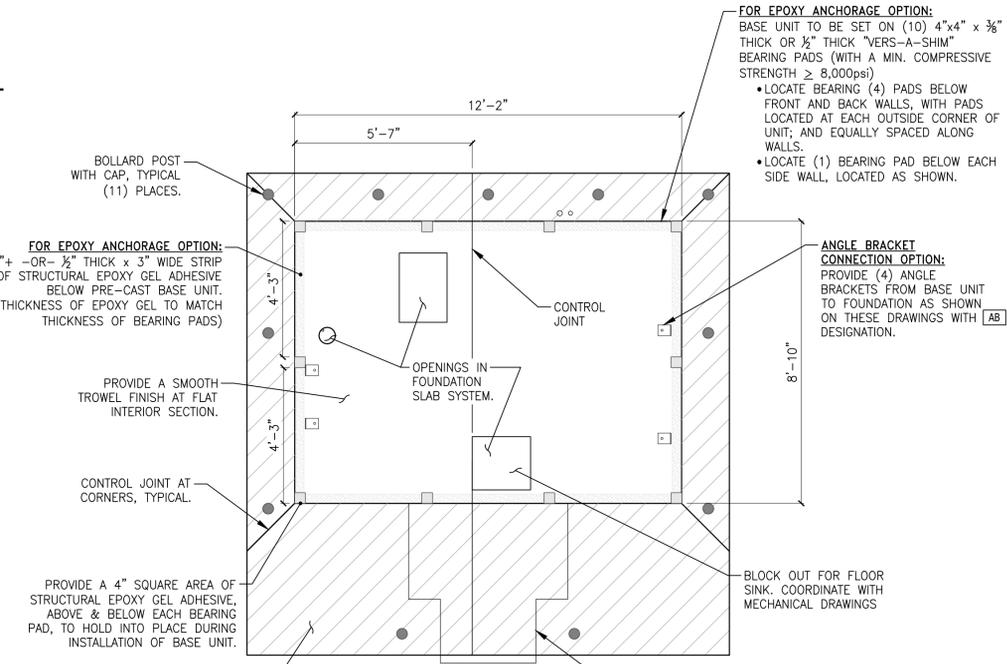


TYPICAL BOLLARD DETAIL
Scale: 3/4" = 1'-0" (24x36)

THESE DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY "NTA" A ICC APPROVED THIRD PARTY DESIGNING AGENCY, THAT CERTIFIED THESE DRAWINGS ARE IN COMPLIANCE WITH 2023 FLORIDA CODES-8th EDITION.
APPROVAL DATE: 2/12/2024
CERT. NO: SMP-056
PLAN NUMBER: MFT-1194-13-247-01-R4
THESE DRAWINGS MAY NOT BE USED AT ANY OTHER SITE LOCATION THAN THE ONE NOTED ON THESE DRAWINGS.

FOUNDATION NOTES:

- SLAB:**
1) THE REINFORCED FOUNDATION SLAB IS DESIGNED FOR THE LOADS INDICATED ON SHEET S0.
- CAST-IN PLACE CONCRETE:**
1) ALL CONCRETE WORK & DETAILING SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE STANDARD: ACI 318.
2) ALL FOUNDATION CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,500 psi IN 28 DAYS AND SHALL BE READY MIX CONCRETE PER ASTM C94. (SIX SACK MIX); SLUMP NO LESS THAN 1" & NO GREATER THAN 4".
3) ALL REINFORCING STEEL SHALL BE ASTM A615, GRADE 60, DEFORMED BARS.
4) ALL REINFORCING SHALL BE INSPECTED AND APPROVED BY THE OWNER PRIOR TO CONCRETE PLACEMENT. SPECIALTY INSPECTION TO BE PROVIDED PERIODICALLY FOR REINFORCING STEEL PLACED IN THE FIELD. SEE SPECIALTY INSPECTION SECTION OF GENERAL NOTES & REQUIREMENTS ON DRAWING S0.
5) REMOVE ALL LOOSE MATERIAL FROM SUB BASE SURFACE IMMEDIATELY PRIOR TO PLACING CONCRETE.
6) SET FORMS TO REQUIRED GRADES AND LINES, RIGIDLY BRACE AND SECURE. CHECK COMPLETED FORM WORK FOR GRADE AND ALIGNMENT. TOP OF FORMS SHALL BE LEVEL, OR AT THE INTENDED ELEVATION & SLOPE WITHIN 1/8" PER 10 FEET.
7) CONCRETE FOR BASE FOUNDATION SLAB SHALL BE PLACED IN ONE CONTINUOUS OPERATION.
8) PLACE CONCRETE USING METHODS WHICH PREVENT SEGREGATION. CONSOLIDATE CONCRETE ALONG FACE OF FORMS WITH INTERNAL VIBRATOR.
9) IF CONCRETE PLACEMENT IS INTERRUPTED FOR MORE THAN 1/2 HOUR, IT WILL BE CAUSE FOR REJECTION OF ALL CONCRETE WORK.
10) CONSTRUCT CONTROL JOINTS IN THE FRESH CONCRETE FOUNDATION SLAB FOR A DEPTH OF 1", BY GROOVING THE TOP PORTION OF THE SLAB WITH A CUTTING TOOL AND FINISHING THE EDGES WITH A JOINTER.
11) AFTER CONCRETE PLACEMENT, STRIKE-OFF, CONSOLIDATE, AND SMOOTH THE SURFACE BY SCREEDING AND FLOATING. COMPACT THE SURFACE AND PRODUCE A UNIFORM TEXTURE.
12) WORK EDGES OF SLABS AND FORMED JOINTS WITH AN EDGING TOOL, AND ROUND TO 1/2" RADIUS.
13) AFTER COMPLETION OF FLOATING AND TROWELING, COMPLETE SURFACE FINISHING AS FOLLOWS:
SLOPED APRON: BROOM FINISH BY DRAWING A FINE HAIR BROOM ACROSS THE CONCRETE SURFACE.
FLAT INTERIOR SECTION: TROWEL FINISH.
14) PROTECT AND CURE THE FOUNDATION SLAB BY USE OF CURING OR SEALING COMPOUND, APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS.
15) DO NOT PLACE CONCRETE IN WATER OR ON FROZEN GROUND.
16) WHEN FOUNDATION SLAB IS PLACED ON NATURAL SOILS, REMOVE VEGETATION; DEBRIS AND UN-SATISFACTORY SOIL MATERIALS.
17) THIS DRAWING SHALL BE USED IN COMBINATION WITH THE MECHANICAL; ELECTRICAL; EQUIPMENT; & PRECAST BASE UNIT DRAWINGS, FOR FINAL SIZES; LOCATIONS AND DETAILS OF OPENINGS; SLEEVES; CONDUITS; INSERTS AND OTHER REQUIREMENTS.
18) THE STEEL PIPE USED FOR THE BOLLARDS SHALL CONFORM TO ASTM A53 GRADE B. THE MAXIMUM DIMENSIONS OF THE FOUNDATION SLAB & BOLLARD LOCATIONS INDICATED ON THESE PLANS MAY VARY DEPENDING ON THE PARTICULAR UNIQUE SITE/PARKING LOT/LANDSCAPED PLANTER AREA REQUIREMENTS.
19) FOUNDATION REINFORCEMENT SHALL BE CONTINUOUS BARS WITH NO LAPPED SPLICES. ADDITIONAL #4 BARS IDENTIFIED AT EACH SIDE OF THE OPENING TO BE 11"-8" IN LENGTH, WITH A 1/2" CLEAR DISTANCE AT THE OUTSIDE PERIMETER (TYPICAL ALL AROUND) & EXTENDING 2'-9 1/2" PAST THE INSIDE EDGE OF THE OPENING; AS SHOWN ON THE FOUNDATION PLAN REBAR LAYOUT THIS SHEET.
20) FOUNDATION REINFORCEMENT SHALL BE SECURELY TIED IN PLACE WITH DOUBLE ANNEALED 16 GAUGE TIE WIRE. WELDING OF REINFORCEMENT IN THE FIELD IS NOT PERMITTED.



FOUNDATION KEY PLAN
Scale: 3/8" = 1'-0" (24x36)

LOCATION:
Parcel #: 25-28-25-000000-021060
Latitude: 28.01712°; Longitude: -81.759885°
Polk County
Winter Haven, FL 33880

WATERMILL EXPRESS, INC.
PHONE: (303) 659-1573
FAX: (303) 659-1635
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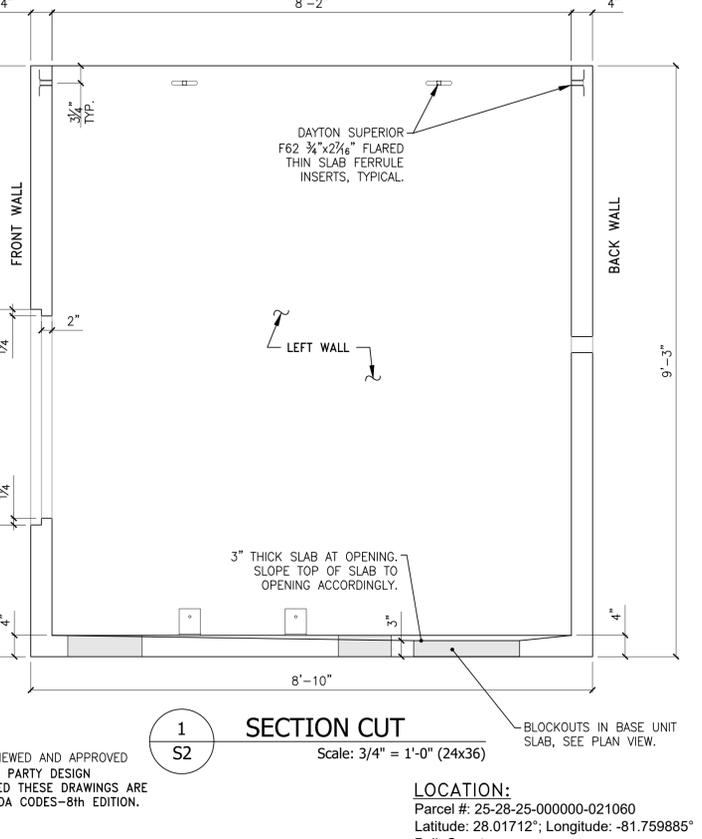
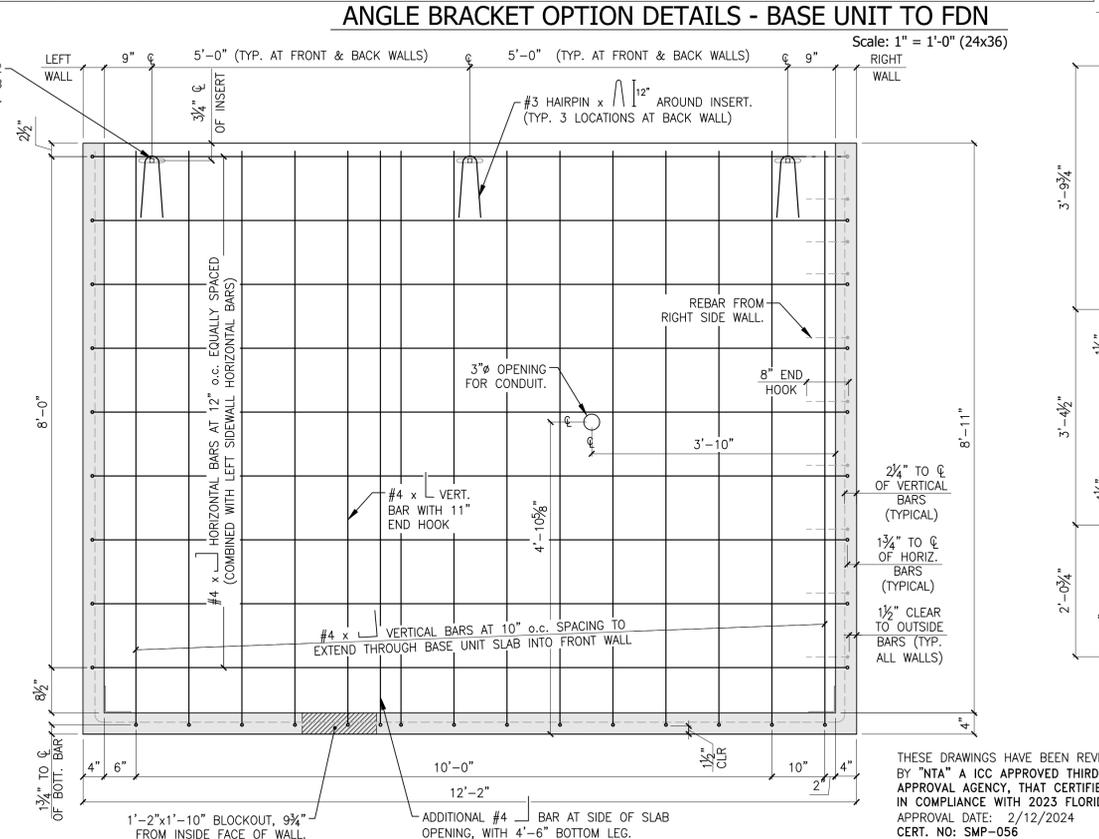
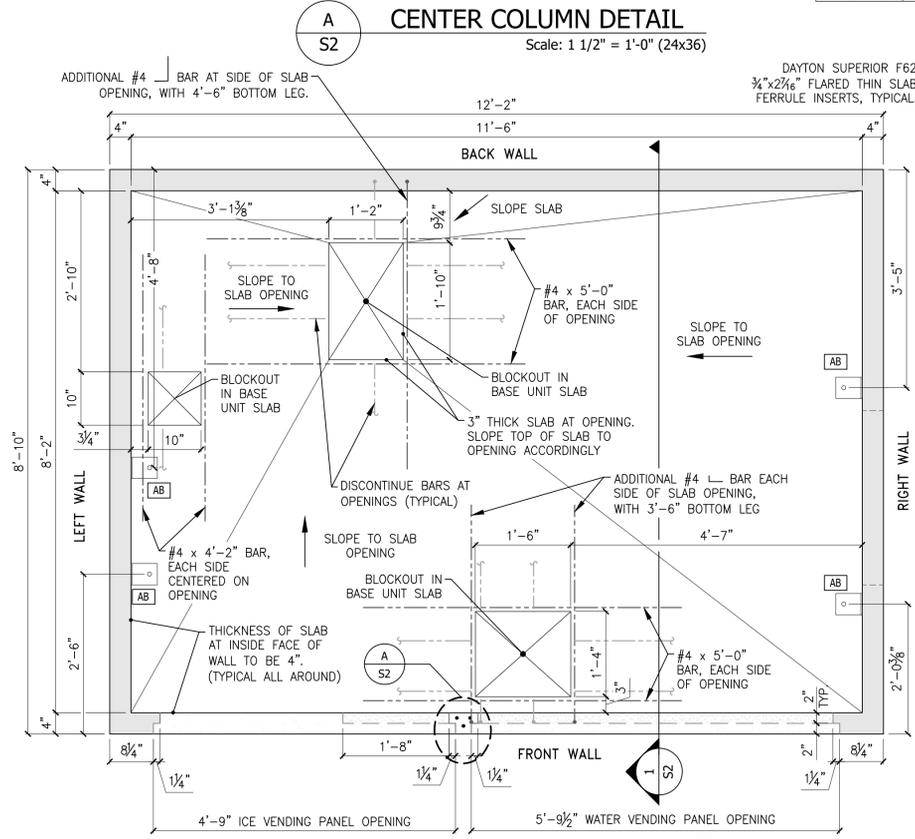
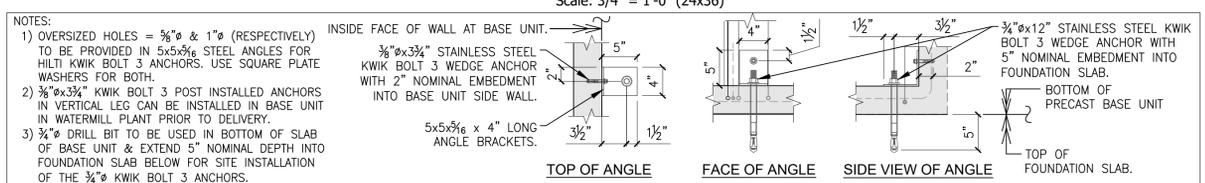
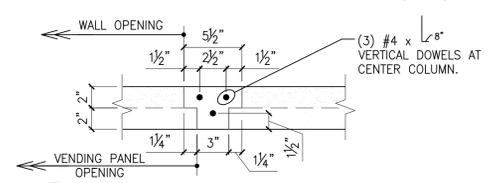
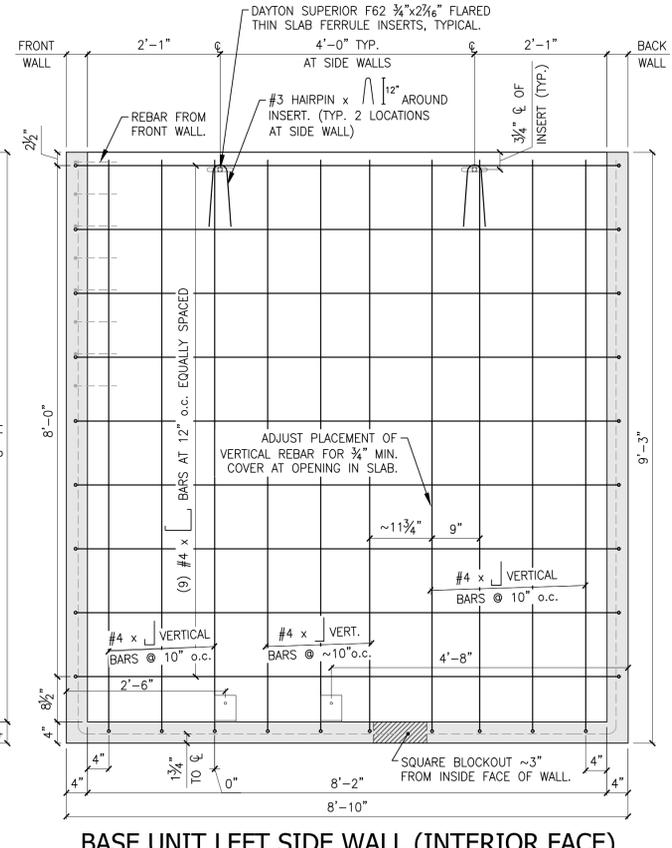
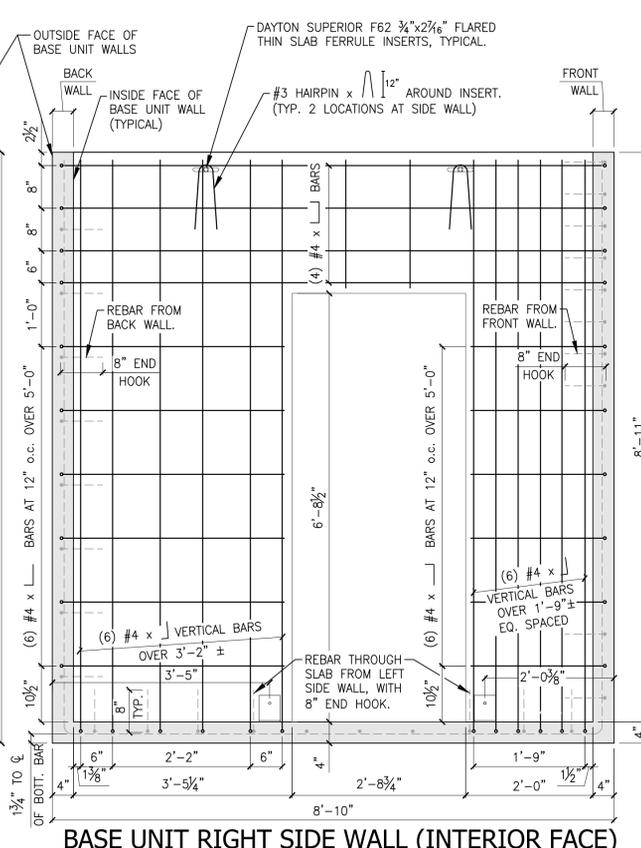
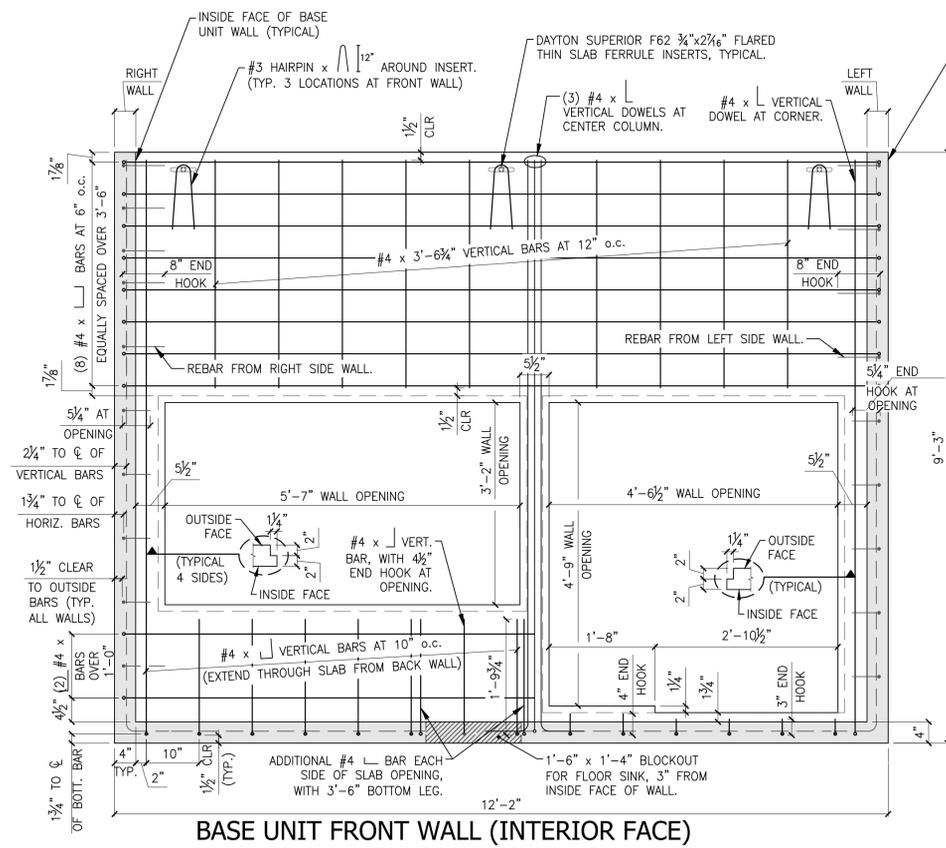


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WATERMILL EXPRESS
WATER VENDING MACHINE

SHEET TITLE:
FOUNDATION PLAN & DETAILS

DATE: ORIGIN Date: JUNE 2019
DRAWN: CMH
CHECKED: DS
REVISIONS: SEE SCHEDULE ON SHEET S0
PROJECT NUMBER: 13-247-01
SHEET NUMBER: S1



- PRE-CAST BASE UNIT NOTES:**
- PRECAST CONCRETE:**
- 1) THE PRECAST BASE UNIT SHELL IS DESIGNED FOR THE LOADS INDICATED ON DRAWING SO
 - 2) ALL CONCRETE WORK AND DETAILING SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE, ACI 318.
 - 3) ALL CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI IN 28 DAYS, UNLESS NOTED OTHERWISE (U.N.O.)
 - 4) ALL REINFORCING STEEL SHALL BE ASTM A615, MINIMUM GRADE 60, DEFORMED BARS, U.N.O.
 - 5) WELDING OF REBAR IS NOT REQUIRED PER DESIGN AND SHALL ONLY BE PERFORMED BY PRECAST MANUFACTURER IF NEEDED FOR ASSEMBLY:
 - a) REINFORCING BARS SHALL CONFORM TO ASTM A706, GRADE 60 DEFORMED BARS.
 - b) ALL WELDS TO BE PER MANUFACTURER IN APPROVED FACILITY AND IN ACCORDANCE WITH AWS D1.4.
 - 6) REINFORCEMENT PROTECTION (COVER) SHALL BE: CONCRETE EXPOSED TO EARTH OR WEATHER: 1 1/2" FOR BARS #5 & SMALLER.
 - 7) BARS MARKED "CONT." (CONTINUOUS) SHALL BE FULLY DEVELOPED AT EACH END SECTION BY EMBEDMENT AND/OR END ANCHORAGE.
 - 8) ACTUAL DIMENSIONS OF THE PRECAST CONCRETE MAY VARY SLIGHTLY.
 - 9) FABRICATION OF PRECAST UNITS:
 - A. PRECAST BASE UNIT TO BE MANUFACTURED BY VAUGHN CONCRETE PRODUCTS, INC.
 - B. READY MIX CONCRETE SHALL COMPLY WITH REQUIREMENTS OF ASTM C94.
 - C. COAT SURFACES OF FORMS WITH BOND-BREAKING COMPOUND BEFORE REINFORCEMENT IS PLACED. PROVIDE COMMERCIAL FORMULATION FORM-COATING COMPOUNDS THAT WILL NOT BOND WITH, STAIN, NOR ADVERSELY AFFECT CONCRETE SURFACES; AND WILL NOT IMPAIR SUBSEQUENT TREATMENTS OF CONCRETE SURFACES REQUIRING BOND OR ADHESION. APPLY IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - D. CLEAN REINFORCEMENT OF LOOSE RUST AND MILL SCALE, EARTH AND OF THE MATERIALS WHICH REDUCE OR DESTROY BOND WITH CONCRETE.
 - E. ACCURATELY POSITION, SUPPORT, AND SECURE REINFORCEMENT AGAINST DISPLACEMENT BY FORMWORK, CONSTRUCTION, OR CONCRETE PLACEMENT OPERATIONS. LOCATE AND SUPPORT REINFORCING BY METAL CHAIRS, RUNNERS, BOLSTERS, SPACERS AND HANGERS, AS REQUIRED.
 - F. PLACE REINFORCEMENT TO OBTAIN AT LEAST THE MINIMUM COVERAGES FOR CONCRETE PROTECTION. NOTE: ARRANGE, SPACE AND SECURELY TIE BARS AND BAR SUPPORTS TO HOLD REINFORCEMENT IN POSITION DURING CONCRETE PLACEMENT OPERATIONS. SET WIRE TIES SO ENDS ARE DIRECTED INTO CONCRETE, NOT TOWARD EXPOSED CONCRETE SURFACES.
 - G. PLACE CONCRETE IN A CONTINUOUS OPERATION TO PREVENT FORMATION OF SEAMS OR PLANES OF WEAKNESS IN PRECAST UNITS, COMPLYING WITH REQUIREMENTS OF ACI 304. THOROUGHLY CONSOLIDATE PLACED CONCRETE BY INTERNAL AND EXTERNAL VIBRATION WITHOUT DISLOCATION OR DAMAGE TO REINFORCEMENT AND BUILT-IN ITEMS.
 - H. FINISH OF FORMED SURFACES: PROVIDE A COMMERCIAL FINISH. REMOVE FINES AND LARGE PROTRUSIONS AND FILL LARGE HOLES. RUB OR GRIND RAGGED EDGES. FACES TO BE TRUE, WELL-DEFINED SURFACES.

THESE DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY "NTA" A ICC APPROVED THIRD PARTY DESIGN APPROVAL AGENCY, THAT CERTIFIED THESE DRAWINGS ARE IN COMPLIANCE WITH 2023 FLORIDA CODES-8th EDITION.
APPROVAL DATE: 2/12/2024
CERT. NO: SMP-056
PLAN NUMBER: MFT-1194-13-247-01-R4
THESE DRAWINGS MAY NOT BE USED AT ANY OTHER SITE LOCATION THAN THE ONE NOTED ON THESE DRAWINGS.

LOCATION:
Parcel #: 25-28-25-000000-021060
Latitude: 28.01712°; Longitude: -81.759885°
Polk County
Winter Haven, FL 33880

WATERMILL EXPRESS, INC.
PHONE: (303) 659-1573
FAX: (303) 659-1635
1177 S. 4th AVE.
BRIGHTON, COLORADO 80601

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PO Box 1599 | 430 South Cache St | Jackson, WY 83001
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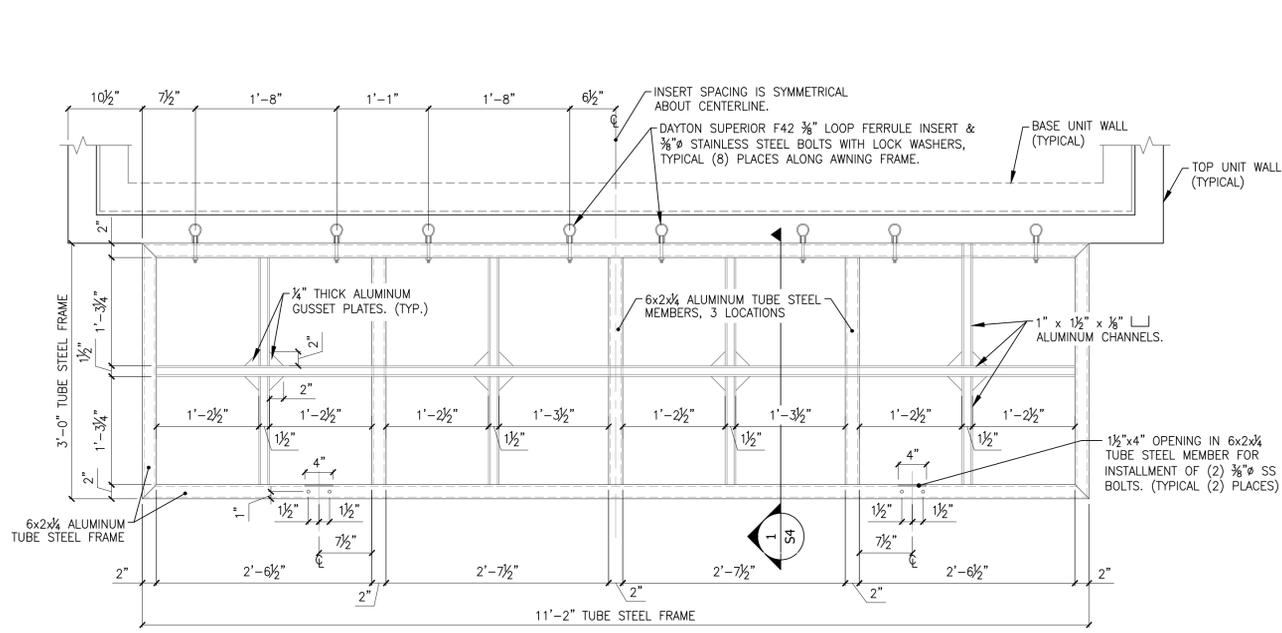
WATERMILL EXPRESS
WATER VENDING MACHINE

SHEET TITLE:
BASE UNIT PLAN & WALL ELEVATIONS

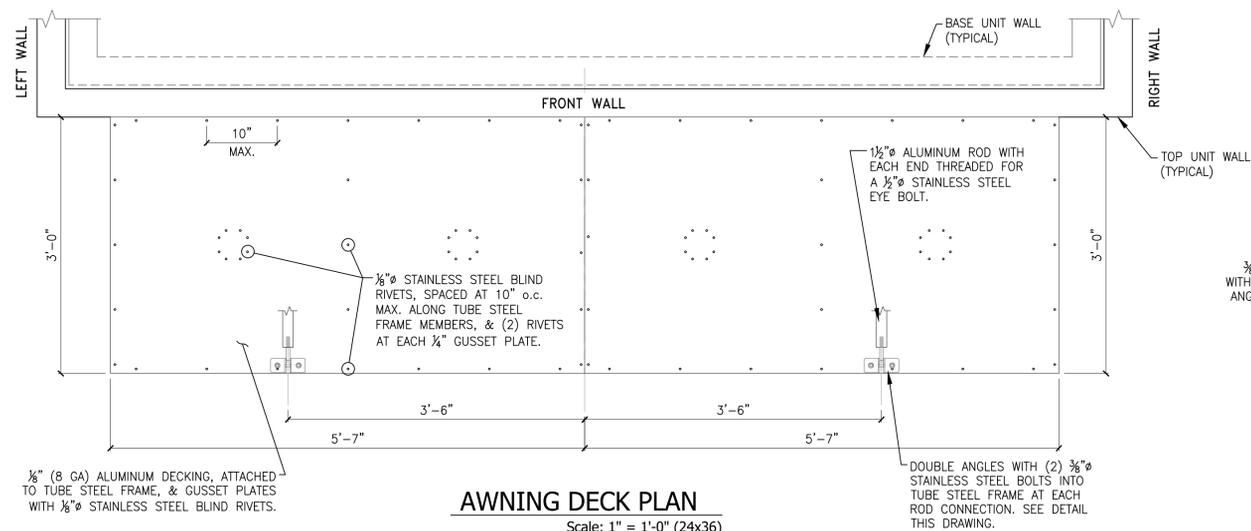
DATE: ORIGIN Date: JUNE 2019
DRAWN: CMH
CHECKED: DS
REVISIONS: SEE SCHEDULE ON SHEET S0

PROJECT NUMBER: 13-247-01
SHEET NUMBER: S2

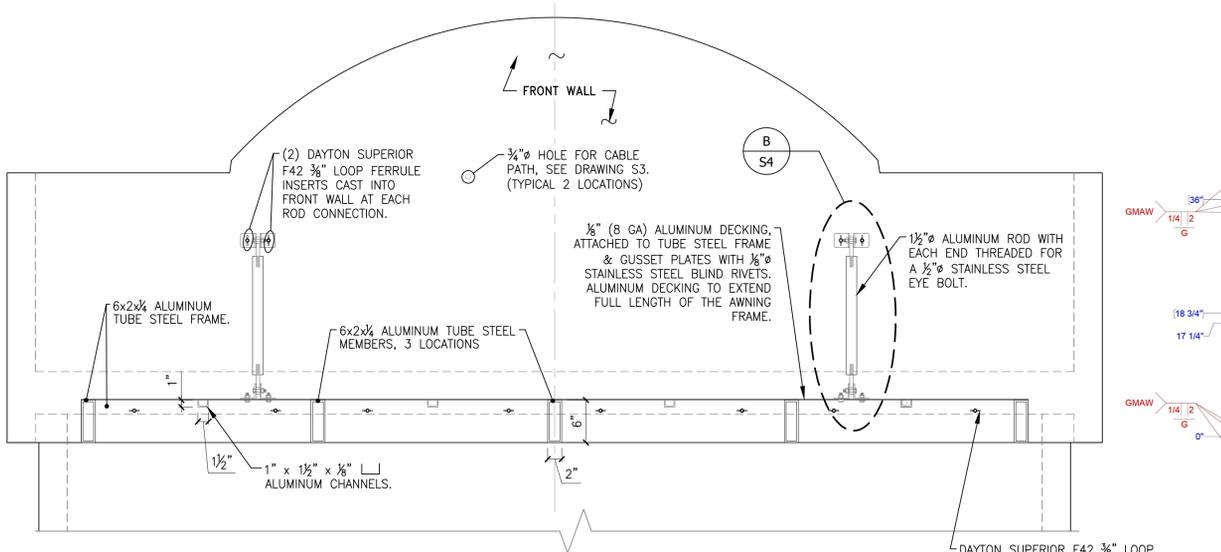
5000 SERIES PROTOTYPE



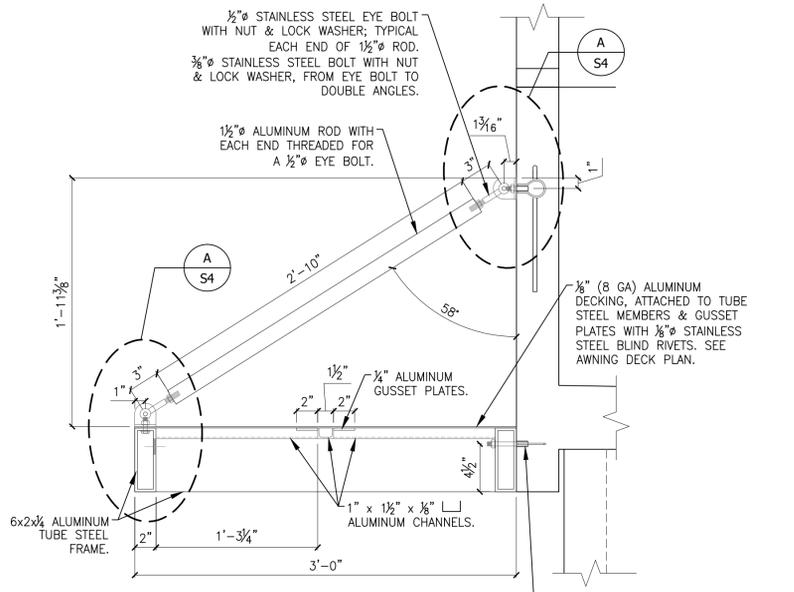
AWNING FRAME PLAN VIEW
Scale: 1" = 1'-0" (24x36)



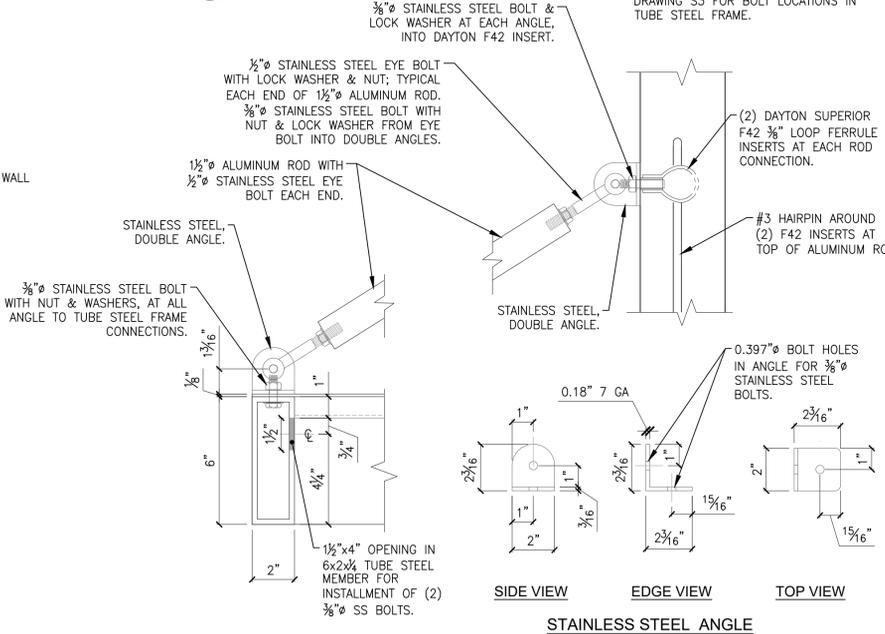
AWNING DECK PLAN
Scale: 1" = 1'-0" (24x36)



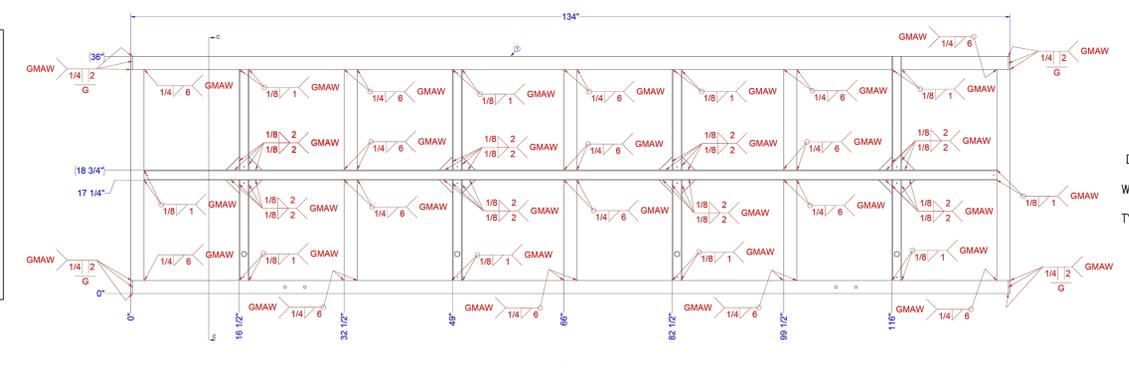
TOP UNIT WALL & AWNING ELEVATION
Scale: 1" = 1'-0" (24x36)
SEE DRAWING S3 FOR PRE-CAST TOP UNIT



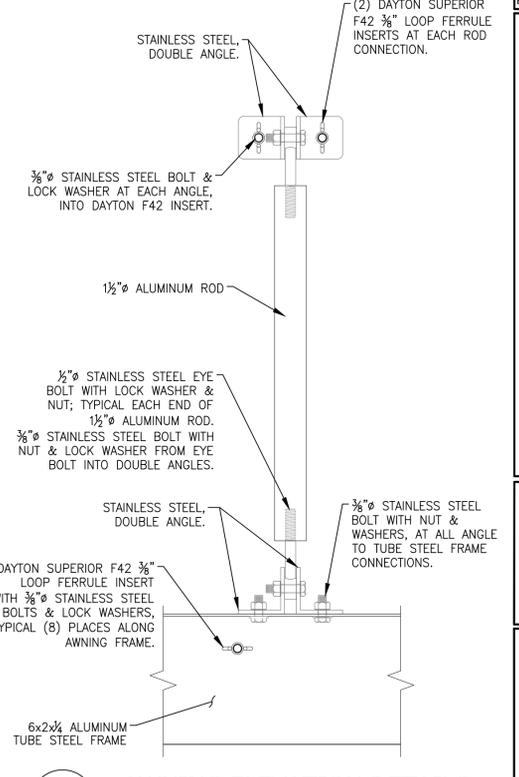
1 AWNING FRAME SECTION
Scale: 1 1/2" = 1'-0" (24x36)



A AWNING SECTION DETAILS
Scale: 3" = 1'-0" (24x36)



AWNING WELD MAP
Scale: N.T.S.



B AWNING ELEVATION DETAILS
Scale: 3" = 1'-0" (24x36)

THESE DRAWINGS HAVE BEEN REVIEWED AND APPROVED BY "NITA" A ICC APPROVED THIRD PARTY DESIGN APPROVAL AGENCY THAT CERTIFIED THESE DRAWINGS ARE IN COMPLIANCE WITH 2023 FLORIDA CODES-8th EDITION. APPROVAL DATE: 2/12/2024
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Parcel #: 25-28-25-000000-021060
Latitude: 28.01712°; Longitude: -81.759885°
Polk County
Winter Haven, FL 33880

- AWNING FRAME NOTES:**
- ALUMINUM; TUBE STEEL; CHANNEL; PLATE; & ROD MEMBERS:**
- 6x2 1/2 ALUMINUM TUBE STEEL MEMBERS TO BE 6061-T6 ALUMINUM. DEBURR & REMOVE SHARP EDGES. PROVIDE A FINISH FREE OF GRIT & OIL.
 - PROVIDE A MITER OR STRAIGHT CUT ON ENDS OF PERIMETER RECTANGULAR TUBE STEEL MEMBERS & FULLY WELD ENDS WITH 1/8 FILLET WELD, OR V-GROOVE WELD AT 1/8 OR LARGER. ENDS CAPPED & WELDED ALL AROUND.
 - FULLY WELD INTERIOR 6x2 1/2 ALUMINUM TUBE STEEL MEMBERS TO PERIMETER FRAME WITH 1/8 FILLET WELD.
 - 1 1/2 x 1 x 1/8 CHANNELS, & 1/8 GUSSET PLATES ARE TO BE 6061-T6 ALUMINUM. DEBURR & REMOVE SHARP EDGES. PROVIDE A FINISH FREE OF GRIT & OIL.
 - FULLY WELD CHANNEL MEMBERS TO ALUMINUM TUBE STEEL MEMBERS WITH 1/8 FILLET WELD AT ALL POINTS OF CONNECTION.
 - 1/4 THICK 6061-T6 ALUMINUM GUSSET PLATES TO BE PROVIDED AT THE INTERSECTION OF ALL CHANNEL MEMBERS. RIVET DECKING TO GUSSET PLATES AS SHOWN ON DECK PLAN. WELD GUSSET PLATES TO CHANNELS WITH 1/8 FILLET WELD ON BOTTOM SIDE OF GUSSET.
 - ALL WELDING TO BE IN ACCORDANCE WITH AWS D1.2: 2008 STRUCTURAL WELDING CODE - ALUMINUM; & THE ALUMINUM DESIGN MANUAL 2010.
 - ALUMINUM DECKING TO BE 1/8 THICK (8 GA. 0.125") 5052-H32 ALUMINUM. DEBURR & REMOVE SHARP EDGES. & PROVIDE A FINISH FREE OF GRIT & OIL.
 - BLIND RIVETS SHALL BE: 18-8 STAINLESS STEEL 1/8" - 0.188" - 0.312" HIGH STRENGTH BLIND RIVET. SS RIVETS TO HAVE A ULTIMATE TENSILE STRENGTH NO LESS THAN 600#; AND A ULTIMATE SHEAR STRENGTH NO LESS THAN 700# PER RIVET.
 - 1/2 ALUMINUM ROD TO BE A SOLID 6061-T6 ALUMINUM ROD, WITH INTERNAL THREADING AT EACH END TO RECEIVE A 1/2 STAINLESS STEEL EYE BOLT.
- STAINLESS STEEL; ANGLES & CONNECTION MEMBERS:**
- STAINLESS STEEL EYE BOLT: TYPE 316 STAINLESS STEEL THREADED SOLID ROD END WITH 1/2-13 THREAD; 1" OUTSIDE EYE; & 3/8" THRU HOLE, WITH TOTAL LENGTH OF 4 1/4". THIS EYE BOLT CONNECTOR TO BE LOCATED AT EACH END OF THE 1/2 ALUMINUM ROD. EYE BOLT ROD END SHALL HAVE A MINIMUM TENSILE STRENGTH OF 75ksi & MINIMUM YIELD STRENGTH OF 30ksi.
 - DOUBLE ANGLES TO BE 304-2B STAINLESS STEEL, 7 GA THICKNESS WITH A MINIMUM TENSILE STRENGTH OF 73.2ksi & MINIMUM YIELD STRENGTH OF 31.2ksi.
 - STAINLESS STEEL HEX HEAD BOLTS TO BE TYPE 304; GRADE B8; CLASS 1 STAINLESS STEEL AISI 304 CARBIDE SOLUTION TREATED, WITH MIN. TENSILE STRESS OF 75ksi & MINIMUM YIELD STRESS OF 30ksi. A194 GRADE 8 HEX NUTS & STAINLESS STEEL 304 FLAT & LOCK WASHERS TO BE USED AT ALL HEX HEAD BOLTS.
 - STAINLESS STEEL WASHERS TO BE USED BOTH THE BOLT HEAD AND THE NUT. LOCK WASHERS TO BE USED UNDER THE NUT FOR ALL STAINLESS STEEL CONNECTIONS.
 - BOLTED CONNECTIONS TO BE SNUG-TIGHT [TIGHTNESS REQUIRED TO BRING THE CONNECTED PILES INTO FIRM CONTACT].

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Jackson 307.733.2087 | Buffalo 307.684.7029

CARLA M. HANSEN
FLORIDA PROFESSIONAL ENGINEER
No. 79046
08/15/2025

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AWNING DETAILS

DATE: ORIGIN Date: JUNE 2019
DRAWN: CMH
CHECKED: DS
REVISIONS: SEE SCHEDULE ON SHEET S0
PROJECT NUMBER: 13-247-01
SHEET NUMBER: S4

5000 SERIES PROTOTYPE OF 6 SHEETS



Polk County
Polk County Land Use Hearing Officer

Agenda Item 4

3/26/2026

SUBJECT

LDLVAR-2026-4 (Indian Creek ADU Variance)

DESCRIPTION

The applicant is requesting a variance to allow an ADU to be larger than 1,000 sq. ft. The subject site is located at 6935 Indian Creek Park Dr, south of Indian Sky Cir, east of Indian Creek Park Blvd, south of the City of Lakeland in Section 20, Township 29, Range 24.

RECOMMENDATION

Conditional Approval

FISCAL IMPACT

No Fiscal Impact

CONTACT INFORMATION

Aleya Inglima

Land Development Division

(863) 534-6764

aleyainglima@polkfl.gov

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date	February 12, 2026	CASE #:	LDLVAR-2026-4 Indian Creek ADU Variance
LUHO Date	March 26, 2026	LDC Section:	Section 206.A

Request: The applicant is requesting a variance to allow an ADU to be larger than 1,000 sq. ft.

Applicant: Megan Ray

Property Owner: Anthony Vincent Ginevra, Michelle Lynn Loyd

Location: 6935 Indian Creek Park Dr, south of Indian Sky Cir, east of Indian Creek Park Blvd, south of the City of Lakeland in Section 20, Township 29, Range 24.

Parcel ID#: 242920-286556-000010

Size: ±0.70 acres

Land Use Designation: Residential Low-1 (RL-1)

Development Area: Urban Growth Area (UGA)

Case Planner: Aleya Inglima, Planner II

Summary:

The applicant is seeking a variance to allow an accessory structure to be larger than 1,000 sq. ft. Section 206.A.2 of the Land Development Code (LDC) limits ADUs to less than the size of the primary residence and not to exceed 1,000 square feet of heated floor space. The applicant requests to add on to an existing 1,000 sq ft garage. The garage will convert to a 2,524 square feet ADU which exceeds the allowable square footage per Section 206.A.2 of the LDC. The existing dwelling is 4,479 square-foot under roof. The proposed ADU is 44% smaller, thereby adhering to the subordinate and incidental characteristics required for accessory uses. Additionally, the request meets all standards outlined for ADUs in LDC Section 206.A, which includes less than 0.65 total ISR and being setback behind the forward building line of the principal dwelling unit.

Many lots in this neighborhood have large accessory structures due to the large homes on lots over an acre. This ample space allows the ADU to easily satisfy all accessory structure setbacks required in the RL-1 land use district. The primary home was built in 2019 and met setbacks at the time. Staff find that the request meets the following criteria listed in Section 931:

- **The request will not be injurious to the area involved or otherwise detrimental to the public welfare** because the ADU will meet the required accessory structure setbacks, will stay out of the rear landscape easement, and has received HOA approval.

- **Granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant** as many of the homes in this neighborhood have large accessory structures exceeding Section 206 due to the large homes on lots over an acre.

Development Review Committee

The Development Review Committee, based on the criteria for granting Variances, finds that the applicant's request as written **IS CONSISTENT** with **Section 931** of the Polk County Land Development Code.

Development Review Committee Recommendation: Based upon the application, and a recent site visit, the Development Review Committee recommends **APPROVAL of LDLVAR-2026-4**, with the following conditions:

CONDITIONS OF APPROVAL:

1. A variance to the standards in Section 206.A.2, of the Land Development Code (LDC) shall be granted to allow an accessory structure up to 2,524 sq. ft.
2. This variance does not authorize any encroachments into easements and the applicant shall be responsible for making certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s) is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other parties at a public hearing.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with LDC.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submission of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

**DEMONSTRATIONS OF THE CRITERIA FOR GRANTING VARIANCES
SUMMARIZED BELOW:**

1. *Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

The applicant, on behalf of the property owner, requests to add on to an existing 1,000 sq ft garage. The garage will convert to a 2,524 square feet ADU which exceeds the allowable 1,000 square feet per Section 206.A.2 of the LDC. The existing home is approximately 4,479 square feet. Under roof, the ADU will remain subordinate in size to the primary residence and smaller by about 44%. The applicant's property is approximately 0.70 acres, and the addition of the new 2,524 sq. ft. ADU will increase the ISR to about 5%, but it will not exceed 65% maximum permitted on the property. The lot size is sufficient to accommodate an ADU of this square footage. Many lots in this neighborhood have large accessory structures. This ample space allows the ADU to easily satisfy all accessory structure setbacks required in the RL-1 land use district. The subject site is a legal lot of record, where the primary home was built in 2019 and met accessory structure setbacks at the time. The ADU will be setback to the side rear the primary residential building line as required in LDC Section 206.A.4. The ADU will also stay out of the rear landscape easement. For these reasons, approval will not be injurious to the area involved or otherwise detrimental to the public welfare.

2. *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

The subject property is Lot 1, part of the Indian Creek Park Plat. The lots within Indian Creek Park are generally larger than those of the homes directly to the north. As a result of the larger lot sizes, many of the single-family homes exceed 4,000 square feet, which often results in accessory structures larger than 1,000 square feet.

3. *Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant;*

The existing home and detached garage on the subject site were constructed in 2019 and met the required setbacks. The request is to take the existing 1,000 sq ft detached garage and convert it to a 2,524 ADU. The ADU will take access using the existing driveway access from the primary home. According to the applicant, the ADU will be designed to be architecturally consistent with the primary residence and neighboring properties, maintaining the established character of the neighborhood. The ADU will comply with all applicable building and fire requirements aside from the requested size variance. The property is large enough to construct an ADU such as this. Meanwhile many of the homes in this neighborhood have large accessory structures exceeding 1,000 sq. ft. due to the large homes on lots over an acre.

4. *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant;*

This will not confer on the applicant any special privilege that is denied by the provisions of this Code. ADUs are permitted as accessory uses to single-family detached homes and mobile homes in all residential districts and lots of record, so long as they meet setback, dimensional, and locational requirements. According to Section 206.A.3.c of the LDC, the ADU must meet

primary structure setbacks when it exceeds 1,000 square feet. The ADU will be in line with the existing garage. In addition to this, the primary residence will remain forward of the building line of the proposed ADU.

5. *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

The owners are seeking to designate their existing garage as an accessory dwelling unit (ADU) that is approximately larger than the County’s current ADU maximum standard of 1,000 sq ft. In terms of total under roof, the proposed ADU will be almost 44% smaller than the existing primary residence. This still falls into the confines of the definition of accessory (incidental and subordinate).

6. *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;*

Granting this variance will not result in a change of land use. A slightly larger than standard accessory dwelling unit (ADU) will not alter the residential use of this property.

7. *Whether that in no case shall the Land Use Hearing Officer or the Planning Commission grant a variance which would result in creation of any residual lot or parcel which does not meet the requirements of this Code; and*

Granting this request will not result in the creation of a lot or parcel that does not meet the requirements of the Code. This variance request will not change the size, shape, or use of the property.

8. *Whether that the granting of the variance does not circumvent a condition or the intent of a condition placed on a development by the Planning Commission or the BoCC.*

Granting this request will not circumvent a condition or the intent of a condition placed on the development by the Planning Commission or the BoCC.

Surrounding Future Land Use Designations and Existing Land Use Activity:

The table to follow provides details of abutting structures and lot parameters.

Table 1

Northwest: RL-1 3,473 sq. ft. single-family home Lot 17 Indian Sky Estates ±0.37 acres	North: RL-1 3,736 sq. ft. single-family home Lot 16 Indian Sky Estates ±0.37 acres	Northeast: RL-1 3,168 sq. ft. single-family home Lot 15 Indian Sky Estates ±0.36 acres
West: RL-1 4,807 sq. ft. single-family home Lot 20 Indian Creek Park ±0.60 acres	Subject Property: RL-1 4,479 sq. ft. single-family home Lot 1 Indian Creek Park ±0.70 acres	East: RL-1 4,474 sq. ft. single-family home Lot 2 Indian Creek Park ±0.64 acres
Southwest: RL-1 6,062 sq. ft. single-family home Lot 6 Indian Creek Park ±0.66 acres	South: RL-1 4,768 sq. ft. single-family home Lot 5 Indian Creek Park ±0.60 acres	Southeast: RL-1 5,340 sq. ft. single-family home Lot 4 Indian Creek Park ±0.61 acres

The subject property is Lot 1 part of the Indian Creek Park Plat. The lot is surrounded by single-family residential homes. This includes the Indian Sky Estates subdivision to the north which consists of 32 homes platted in 2002. The property is approximately 0.70 acres in the RL-1 land use district.

Comments from other Governmental Agencies: None.

Exhibits:

Exhibit 1 – Location Map

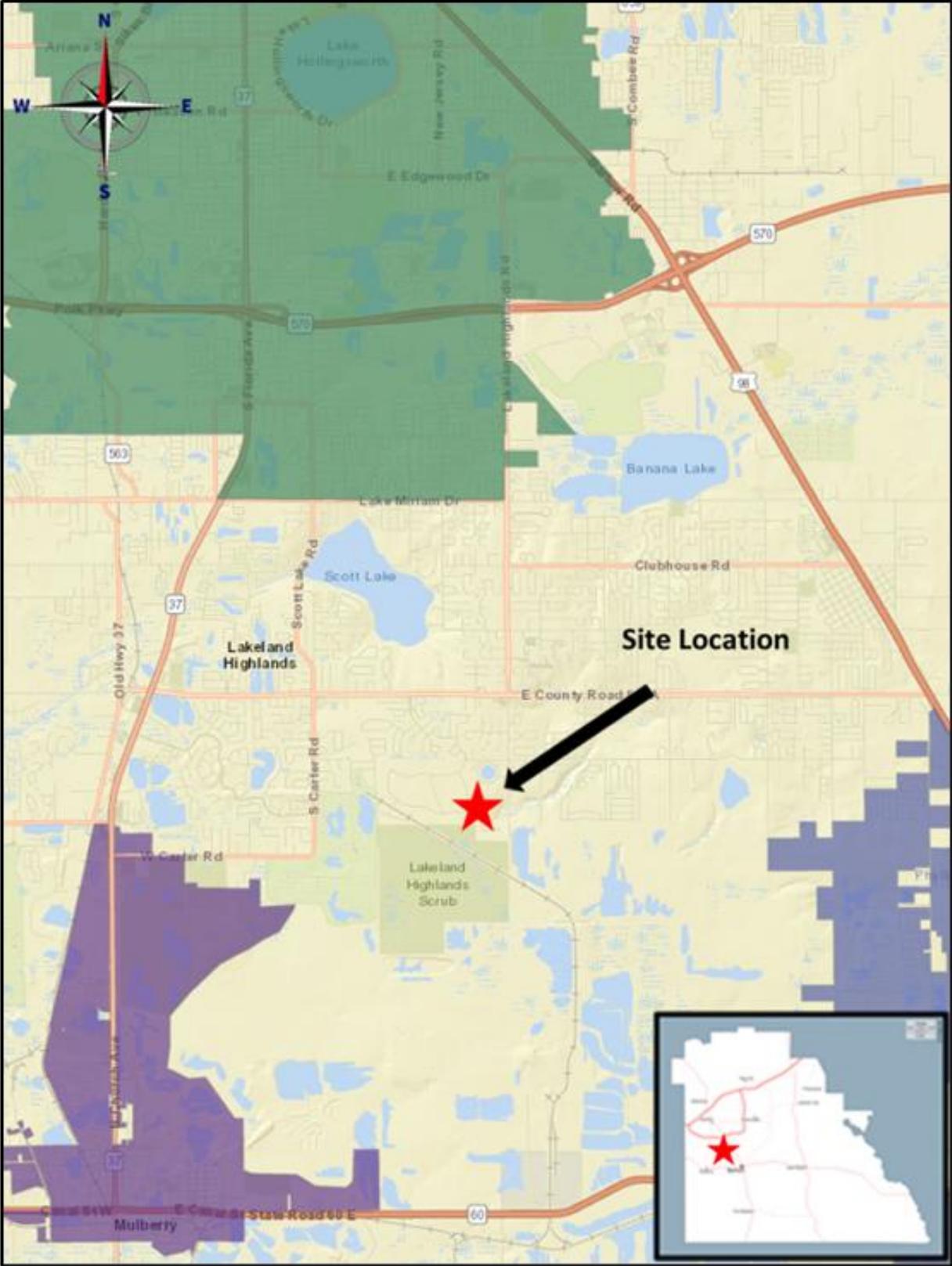
Exhibit 2 – Future Land Use

Exhibit 3 – 2025 Satellite Image (Context)

Exhibit 4 – 2023 Aerial Photo (Close-up)

Exhibit 5 – Site Plan

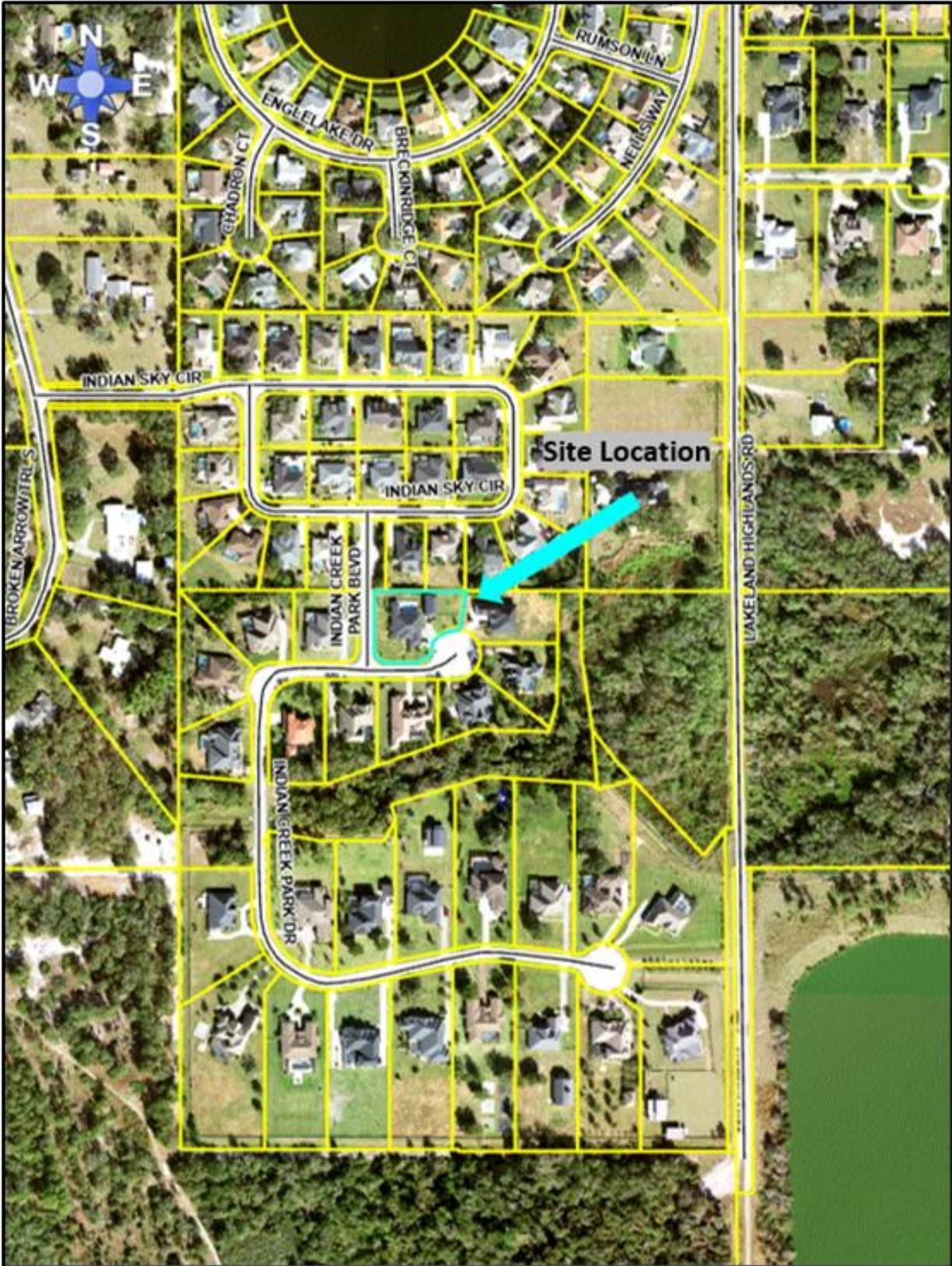
Exhibit 6 – Applicant’s Justification



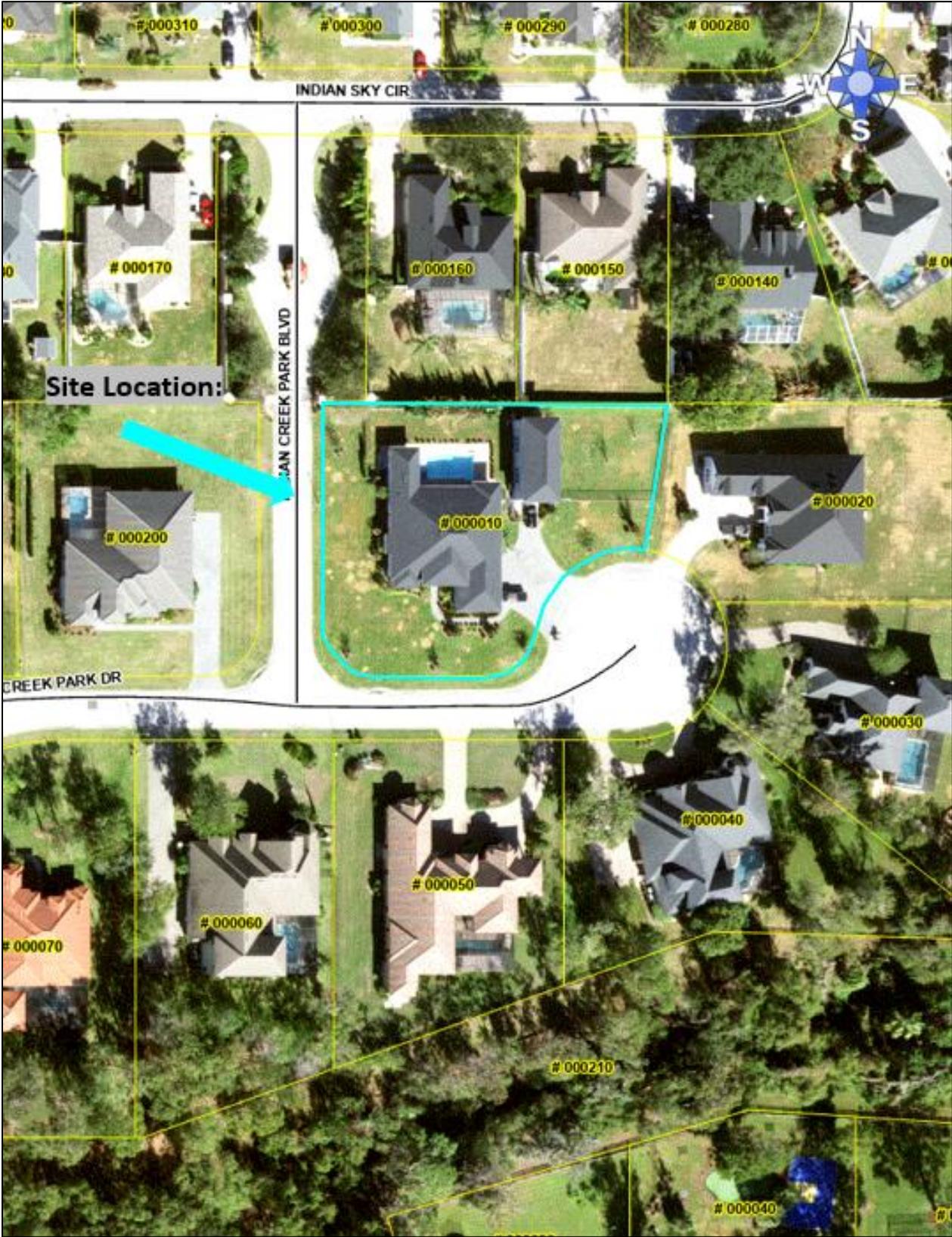
Location Map



Future Land Use Map

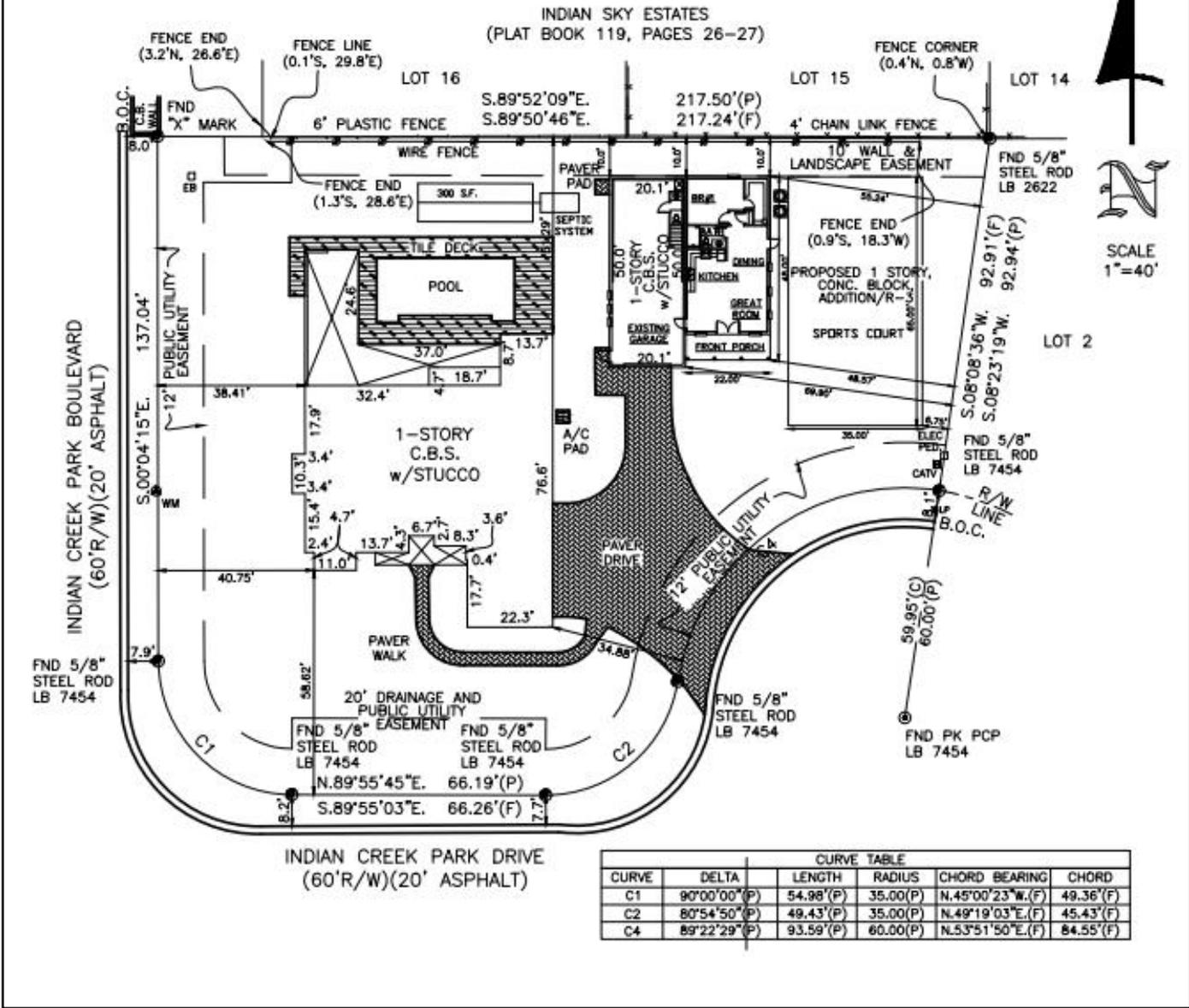


2025 Satellite Image (Context)



2023 Aerial Photo (Close-up)

BOUNDARY SURVEY



Site Plan

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?

The requested variance will not be injurious to the surrounding area nor detrimental to the public welfare. The proposed Accessory Dwelling Unit (ADU) is designed to be architecturally consistent with the primary residence and neighboring properties, maintaining the established character of the neighborhood. The ADU will comply with all applicable building, fire, life-safety, and zoning requirements aside from the requested size variance.

What special conditions exist that are peculiar to the land, structure, or building involved?

The property presents unique conditions related to lot size, configuration, and existing development, which allow the ADU to be constructed in a manner that remains visually and functionally compatible with surrounding homes despite exceeding the 1,000 sq ft threshold.

Additionally, the size of the ADU is driven by practical design constraints, including compliance with setback requirements, placement of existing structures, and the need to provide a functional and code-compliant living space. The request is not based on personal preference, but rather on the physical characteristics of the property and the intent to develop the site responsibly.

When did you buy the property and when was the structure built? Permit Number?

The property was purchased in 2018. The primary residence was constructed in 2019 under Permit Number BR-2018-6983, in compliance with all applicable codes and regulations at the time of construction.

What is the hardship if the variance is not approved?

If the variance is not approved, the property owner would experience unnecessary and undue hardship, as strict adherence to the 1,000 sq ft limitation would prevent the reasonable use of the property for an ADU as intended.

Without the variance, the ADU would require significant redesign that could compromise functionality, accessibility, and livability, or result in a structure that does not adequately meet the intended residential needs. This hardship is not self-created, but rather a result of zoning limitations applied to the existing conditions of the property.

Is this the minimum variance required for the reasonable use of the land?

Yes. The proposed ADU size represents the minimum variance necessary to allow reasonable use of the property. The design has been carefully evaluated to ensure the ADU remains subordinate to the primary residence while providing adequate living space. Any further reduction in size would negatively impact the functionality of the dwelling and defeat the purpose of the ADU.

Do you have Homeowners Association approval for this request?

Yes. The Homeowner's Association has reviewed and approved the proposed ADU and the requested variance. Documentation is attached

Applicant's Justification



RIDGE SURVEYING, INC.

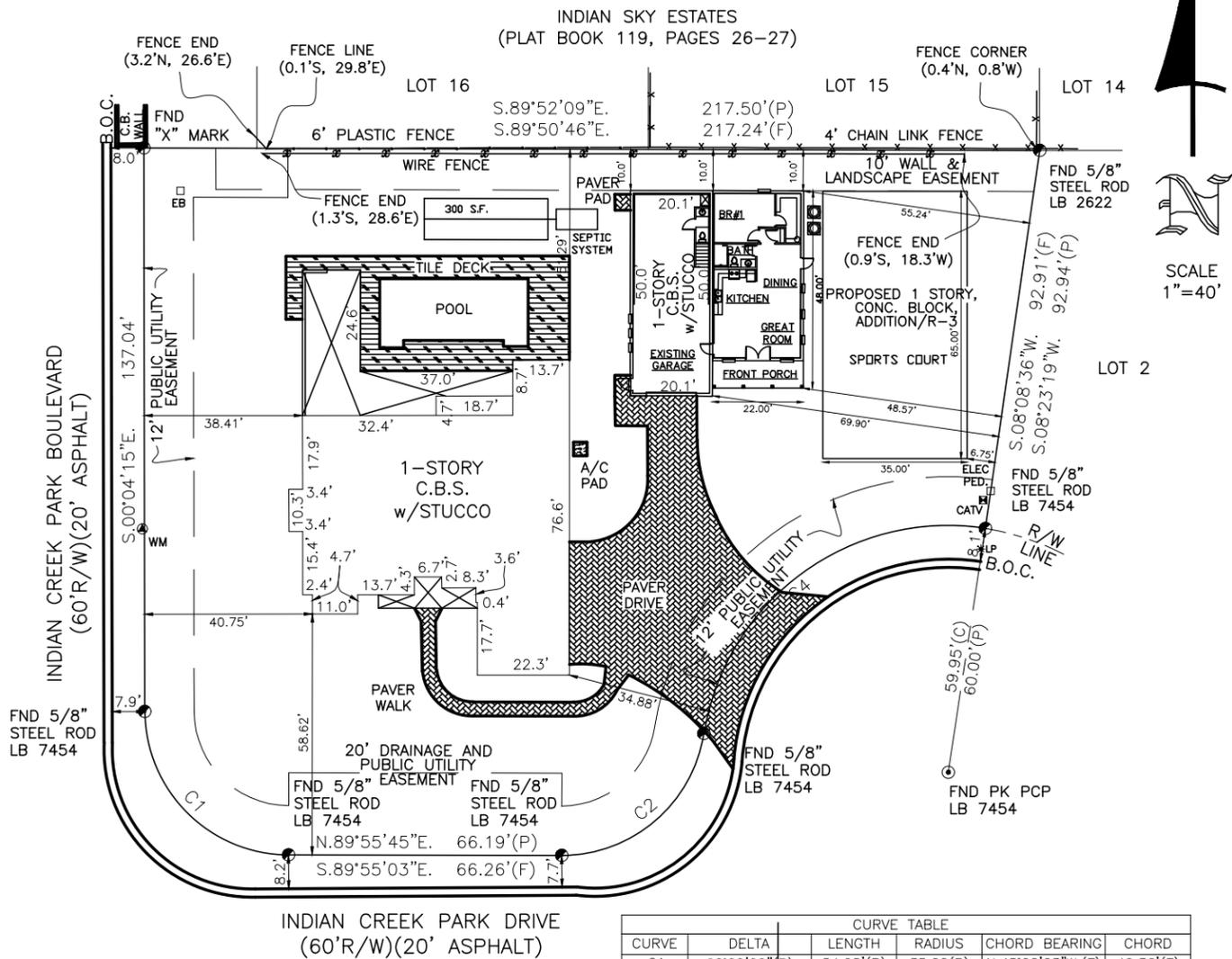
6511 LONGOAK COURT, LAKELAND, FLORIDA 33811
P.O. BOX 7822, LAKELAND, FLORIDA 33807-78222

PHONE: (863) 686-5405
FAX: (863) 578-4017
E-MAIL: ridgesurveying@aol.com

SURVEY FOR: HULBERT HOMES INC.
REQUESTED BY: Ashley Espada

JOB NO. 18-153
DATE: 12/03/18

BOUNDARY SURVEY



CURVE TABLE					
CURVE	DELTA	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	90°00'00"(P)	54.98'(P)	35.00(P)	N.45°00'23"W.(F)	49.36'(F)
C2	80°54'50"(P)	49.43'(P)	35.00(P)	N.49°19'03"E.(F)	45.43'(F)
C4	89°22'29"(P)	93.59'(P)	60.00(P)	N.53°51'50"E.(F)	84.55'(F)

SURVEYORS NOTES:

- North and Survey data as shown is referenced to the direction of S.00°04'15"E., along the East right-of-way line of Indian Creek Park Boulevard according to the recorded Plat
- Only above ground improvements were located.

LEGEND: (P)= Plat, (F)= Field, (C)= Calculated, FND= Found, R/W= Right-of-Way, B.O.C.= Back of Curb, C.B.= Concrete Block, w/=With, EB= Electric Box, WM= Water Meter, C.B.S.= Concrete Block Structure, A/C= Air Conditioner, PCP= Permanent Control Point

CERTIFIED TO: Anthony Vincent Ginevra, HULBERT HOMES, INC., MIDFLORIDA CREDIT UNION, CLARK, CAMPBELL, LANCASTER & MUNSON, P.A., and, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

REVISED: 01/23/19 To add additional improvements, New Field Date is 01/16/19.
REVISED: 09/ 22 /19 To add additional improvements, New Field Date is 09/ 14 /19.

DESCRIPTION LOT 1
INDIAN CREEK PARK
POLK COUNTY, FLORIDA. SECTION 20 TOWNSHIP 29 S., RANGE 24 E.
RECORDED PLAT BOOK 153 PAGE(S) 40-42 ENCROACHMENTS AS SHOWN
FIELD DATE 11/20/18 FIELD BOOK 174 PAGE(S) 62-65

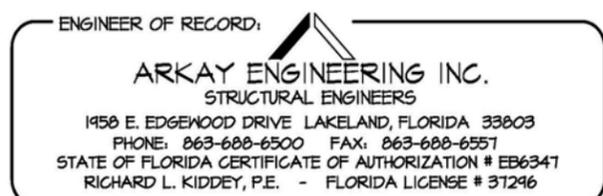
The undersigned as a representative of RIDGE SURVEYING, INC., LB 7159 hereby certifies that this BOUNDARY SURVEY meets or exceeds the Standards of Practice in Surveying and Mapping as set forth by Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

F.P. AMMERMAN, P.L.S.

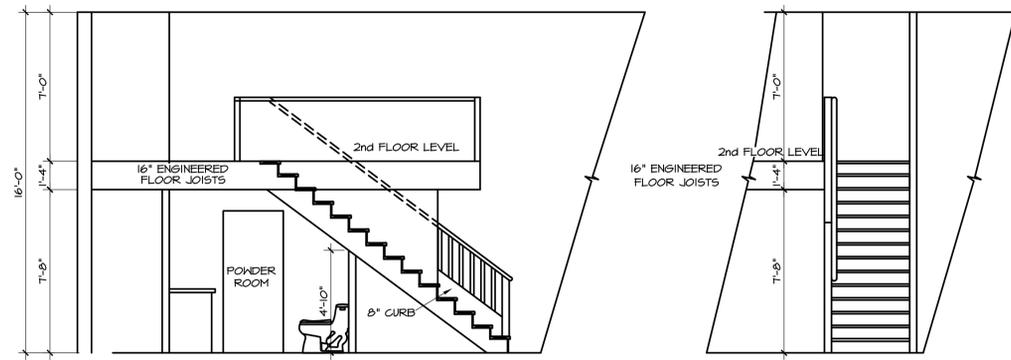
F. Ammermann
CREW CHIEF

REGISTERED SURVEYOR NO.4220 STATE OF FLORIDA

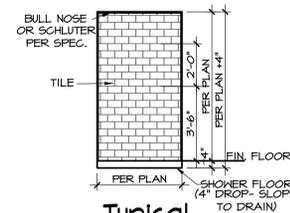
NOT VALID WITHOUT
THE SIGNATURE AND
ORIGINAL RAISED
SEAL OF A FLORIDA
LICENSED SURVEYOR
AND MAPPER



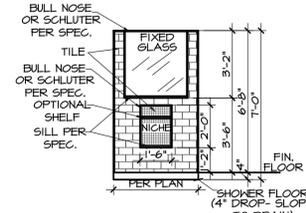
ARKAY JOB #21513



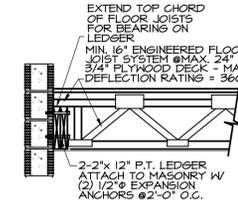
Stair Detail
1/4" = 1'-0"



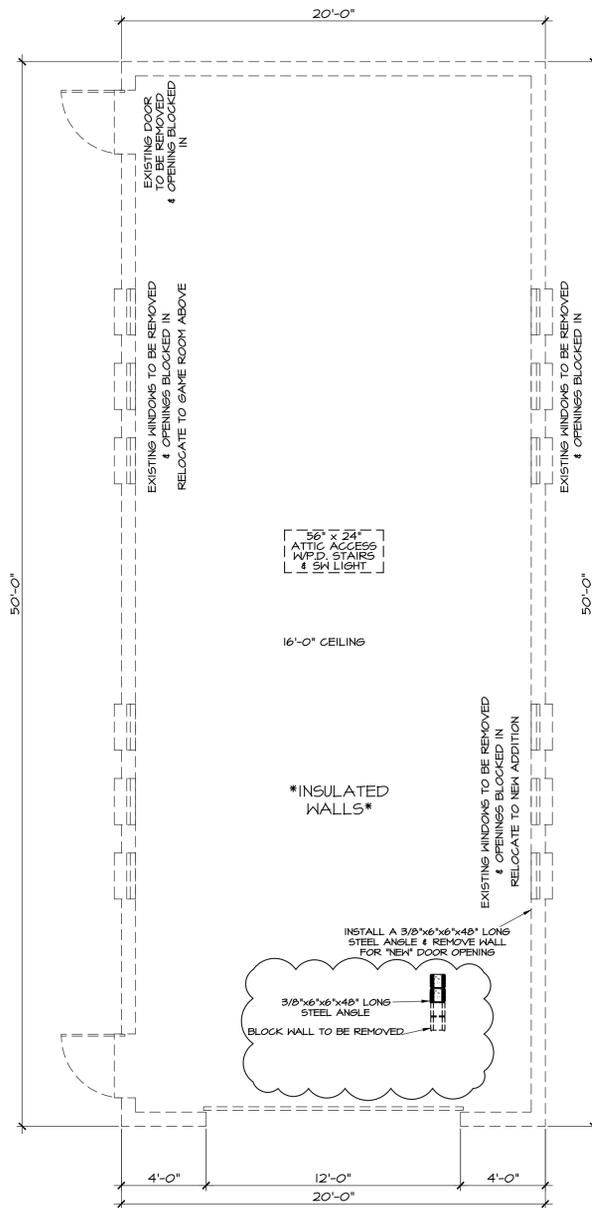
Typical Shower Wall
1/4" = 1'-0"



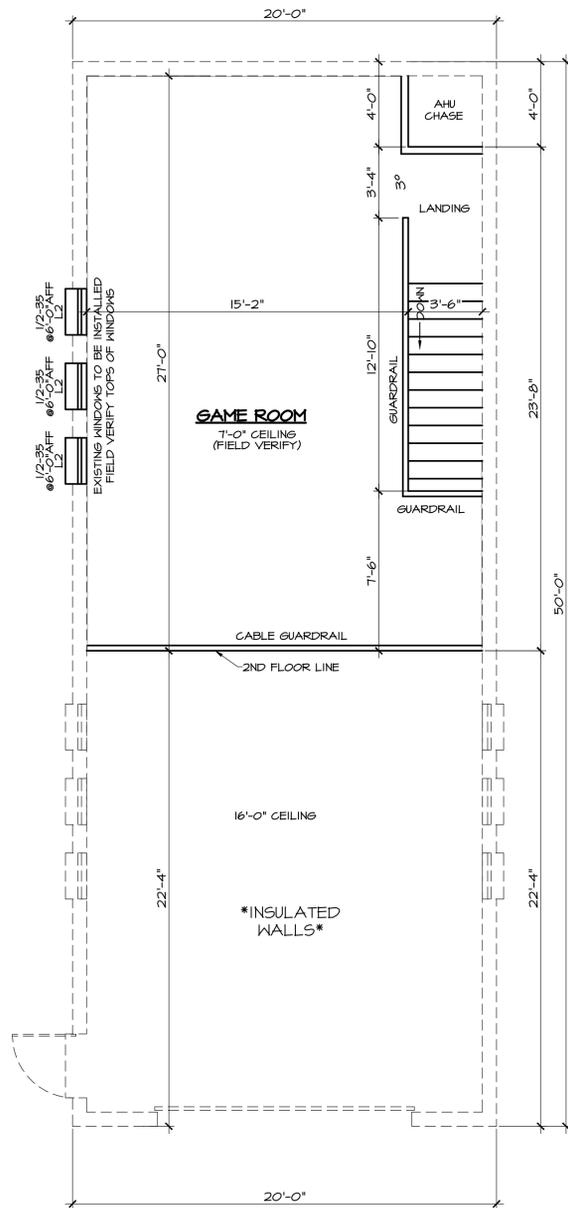
Typical Shower W/ Niche & Fixed Glass Window
1/4" = 1'-0"



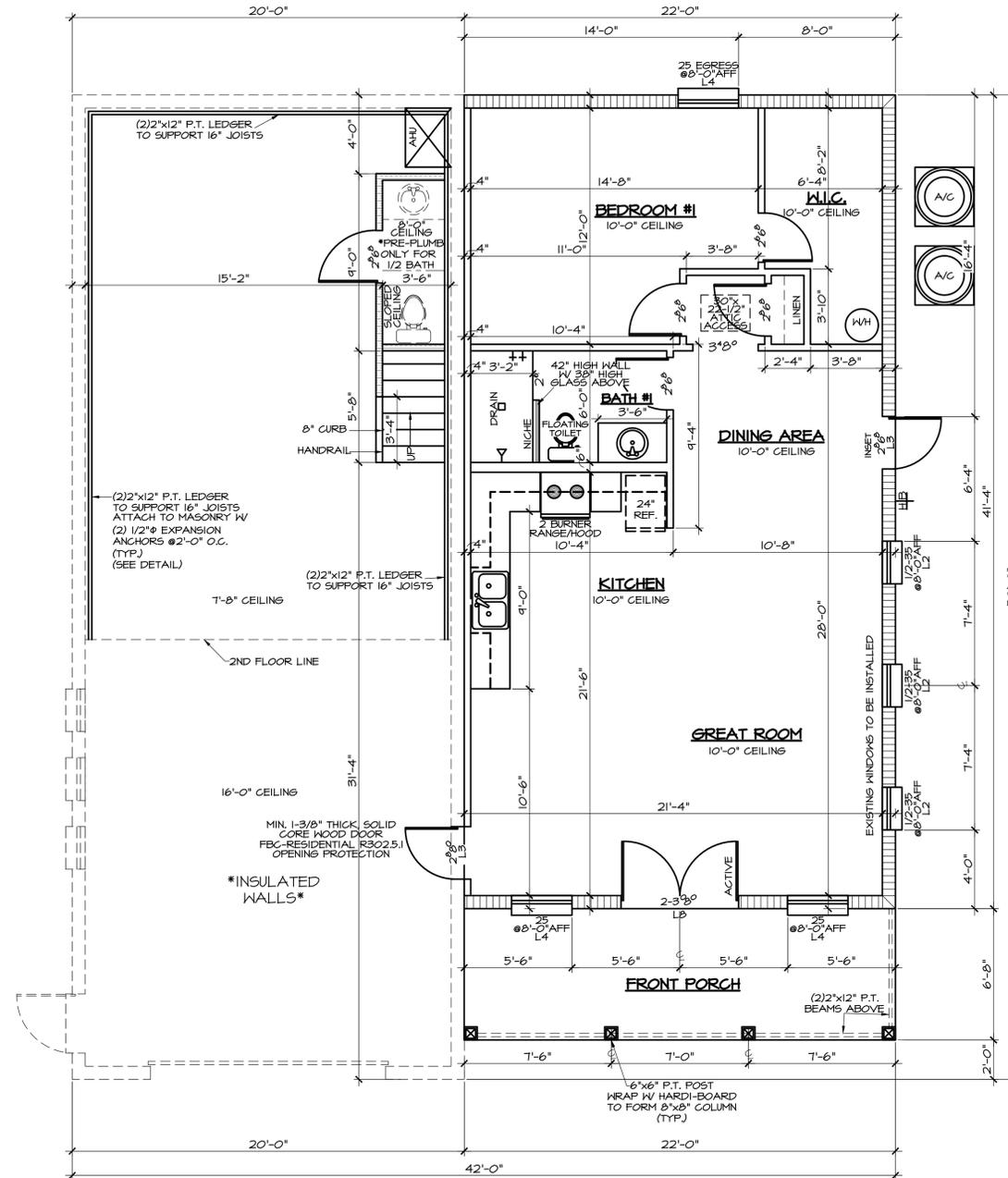
Floor Joist Detail
1/2" = 1'-0"



Existing Floor Plan
1/4" = 1'-0"



Game Room Floor Plan
1/4" = 1'-0"



Addition Floor Plan
1/4" = 1'-0"

***ALL DOORS EXCEPT CLOSET DOORS ARE TO BE TI-ASTRAGAL DOORS**

ENTRY DOORS FROM GARAGE TO HOUSE MUST BE SOLID CORE CONSTRUCTION 20 MINUTE RATED DOOR W/ SELF CLOSER GLASS SIDE LITES @ ENTRY DOORS MUST BE TEMPERED

***FRONT DOOR INSTALLATION: TAPCONS TO BE LOCATED BEHIND WEATHERSTRIP**

***BATH VENT FAN VENTS IN SOFFIT TO HAVE BLOCKING & TO BE LOCATED MIN. 3' FROM ANY WINDOW**

***NOTE: ALL WINDOWS ARE SINGLE HUNG EXCEPT AS NOTED AS FIXED, TRANSOM, HALF CIRCLE, OR EYEBROW**

Plan Call Out	Width	Height	Sq. Ft.	*
12	19"	26"	3	
13	19"	30"	5	
14	19"	50"	7	
15	19"	63"	8	
16	19"	72"	10	
17	19"	40"	11	
1/2-32	26"	26"	5	
1/2-33	26"	30"	7	
1/2-34	26"	50"	4	
1/2-35	26"	63"	11	
1/2-36	26"	72"	13	
1/2-37	26"	90"	16	
22	37"	26"	7	
23	37"	30"	10	
24	37"	50"	13	
25	37"	63"	16	*
26	37"	72"	19	*
21	37"	40"	22	*
32	53"	26"	10	*
33	53"	30"	14	*
34	53"	50"	18	*
35	53"	63"	23	*
36	53"	72"	27	*
37	53"	90"	32	*

* MEETS MIN. EXPRESS SIZE REQUIREMENTS PER FC 2023 (2018 EQ. REG. R310)

Concrete Lintel Schedule				Precast And Prestressed	
Tag	Clear Span	Lintel Size	TYPE/SIZE	Rebar	
L1	1'-6"	2'-0"	8"-U	8"-U	NOT REQ'D
L2	2'-2"	3'-6"	8"-U	8"-U	NOT REQ'D
L3	2'-8"	4'-0"	8"-U	8"-U	NOT REQ'D
L4	3'-2"	4'-6"	8"-U	8"-U	NOT REQ'D
L5	4'-0"	5'-6"	8"-U	8"-U	NOT REQ'D
L6	4'-4"	6'-0"	8"-U	8"-U	NOT REQ'D
L7	5'-2"	6'-6"	8"-F	8"-F	NOT REQ'D
L8	6'-2"	7'-6"	8"-F	8"-F	1 - #5
L9	7'-0"		NOT AVAILABLE		
L10	8'-0"	4'-4"	8"-F	8"-F	1 - #5
L11	8'-2"	10'-6"	8"-F	8"-F	1 - #5
L12	10'-0"	11'-4"	8"-F	8"-F	1 - #5
L13	11'-2"	12'-6"	8"-F	8"-F	1 - #5
L14	12'-0"	13'-4"	8"-F	8"-F	1 - #5
L15	12'-8"	14'-2"	8"-F	8"-F	1 - #5 T&B
L16	13'-4"	14'-8"	8"-PS-F-C	8"-PS-F-C	1 - #5 T&B
L17	14'-0"	15'-4"	8"-PS-F	8"-PS-F	1 - #5 T&B
L18	16'-0"	17'-4"	8"-PS-F	8"-PS-F	1 - #5 T&B
L19	18'-0"	19'-4"	8"-PS-F	8"-PS-F	1 - #5 T&B
L20	19'-8"	20'-0"	16"-PS-F-C	16"-PS-F-C	1 - #5 T&B
L21	20'-8"	22'-0"	16"-PS-F-C	16"-PS-F-C	1 - #5 T&B
L22	22'-8"	24'-0"	16"-PS-F-C	16"-PS-F-C	1 - #5 T&B
Garage Door Lintels					
L18G	16'-0"	17'-4"	8"-PS-F	8"-PS-F	1 - #5 T&B
L18D	16'-0"	18'-4"	16"-PS-F	16"-PS-F	1 - #5 T&B
Garage Door W/Bonus Room Above					
L18B	16'-0"	17'-4"	24"-PS-C	24"-PS-C	1 - #5 T&B
L18D	16'-0"	18'-4"	24"-PS-C	24"-PS-C	1 - #5 T&B

- DESIGN LOADS:**
- Design conforms with Florida Bldg. Code 8th Edition (2023) (Building & Residential) Design Criteria for 140MPH Wind Forces Per ASCE/SEI 7-22 Minimum Design Loads For Buildings & Other Structures.
 - Wood: No. 2 Grade Southern Pine Or Better
 - Risk Category II
 - MNFRS Chapters 26 Thru 24
 - Chap. 30: Components/Cladding (C4 C) Excl. Low Rise Building Doors & Windows 247 PSF
 - Internal Pressure Coefficient: ± 0.18
 - Exposure 'B'
 - Residential Category R3

AREAS:	
NEW LIVING	909
NEW GAME ROOM	468
EXISTING GARAGE	1,000
NEW FRONT PORCH	147
TOTAL:	2,524

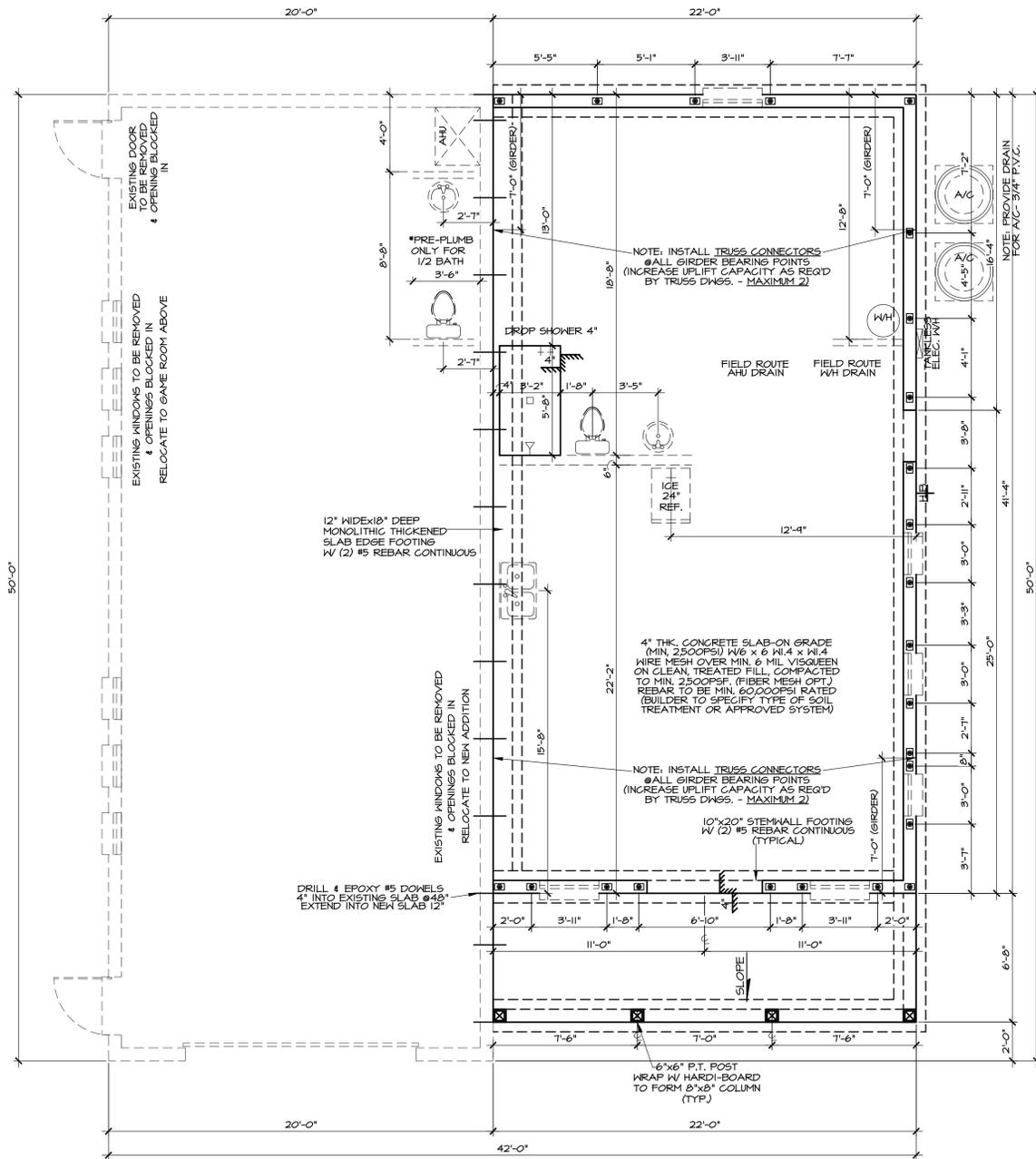
REVISIONS	BY

ARKAY ENGINEERING INC.
STRUCTURAL ENGINEER
1800 E. EGRESS BLVD. SUITE 100, APOKA, FL 33805
PHONE: 888-999-9600 FAX: 888-999-9600
STATE OF FLORIDA CERT. OF AUTHORIZATION # EB6347
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 97296

Addition For:
The Ginevra Residence
6935 Indian Creek Park Dr., Lakeland,
FL 33813- Floor Plan

Hulbert Homes, Inc.
PHONE: 863-647-5815
FAX: 844-1125

ARKAY JOB #21513
DRAWN BY
SDF
DATE CHECKED
9 DEC 2025
DATE
31 JAN 2024
SCALE
AS NOTED
SHEET
OF 4 SHEETS
PAPER SIZE
24"x36"



Foundation Plan
1/4" = 1'-0"

CONNECTOR SCHEDULE			
SIMPSON	USE	SIMPSON	USE
Stock Number	Uplift	Stock Number	Uplift
H25	415	RT1	585
H4	360	RT4	410
		RT3	505
H25A	600	RT1A	635
H6	415	LFT46	1015
H10	905	RT16 (F OR T)	1225
META12	1,240	TA12/TA14	825/1,055
		HTA16-18	1,400
META14 THRU 20	1,450	TA16 THRU 36	1,205
META16 THRU 24	1,805	HTA16 THRU 48	1,615
ABU44	2,200	PAU44	2,350
ABU66	2,300	PAU66	2,380
BC4	480	C44	1,000
BC46	480	C46	1,000
LS210-2	1,710	JS210-2	1,980
LS214-2	1,710	JS214-2	1,980
FHA4	705	KFA4	860
MFS12	1,000	MFW12	1,085
LTS12	775	LPTA	1,250
LTS16	775	LTH6	775
MEHA3.56/425	3,145	NFM35X100	3,450
LFTA	1,205	KLFTA	1,285
H5	1,300	HD2X	1,415
H6	1,470	RT22F	1,225
M8T	3,465	HTT22	5,370
H8T-3	10,530	H8T3	9,860
H8T-4	9,250	H8T4	9,860
ST4	755	ST4	745
LSTA30	1,640	LSTA30	1,640
HIC210-2	1,505	HD210-2 (INV)	1,575

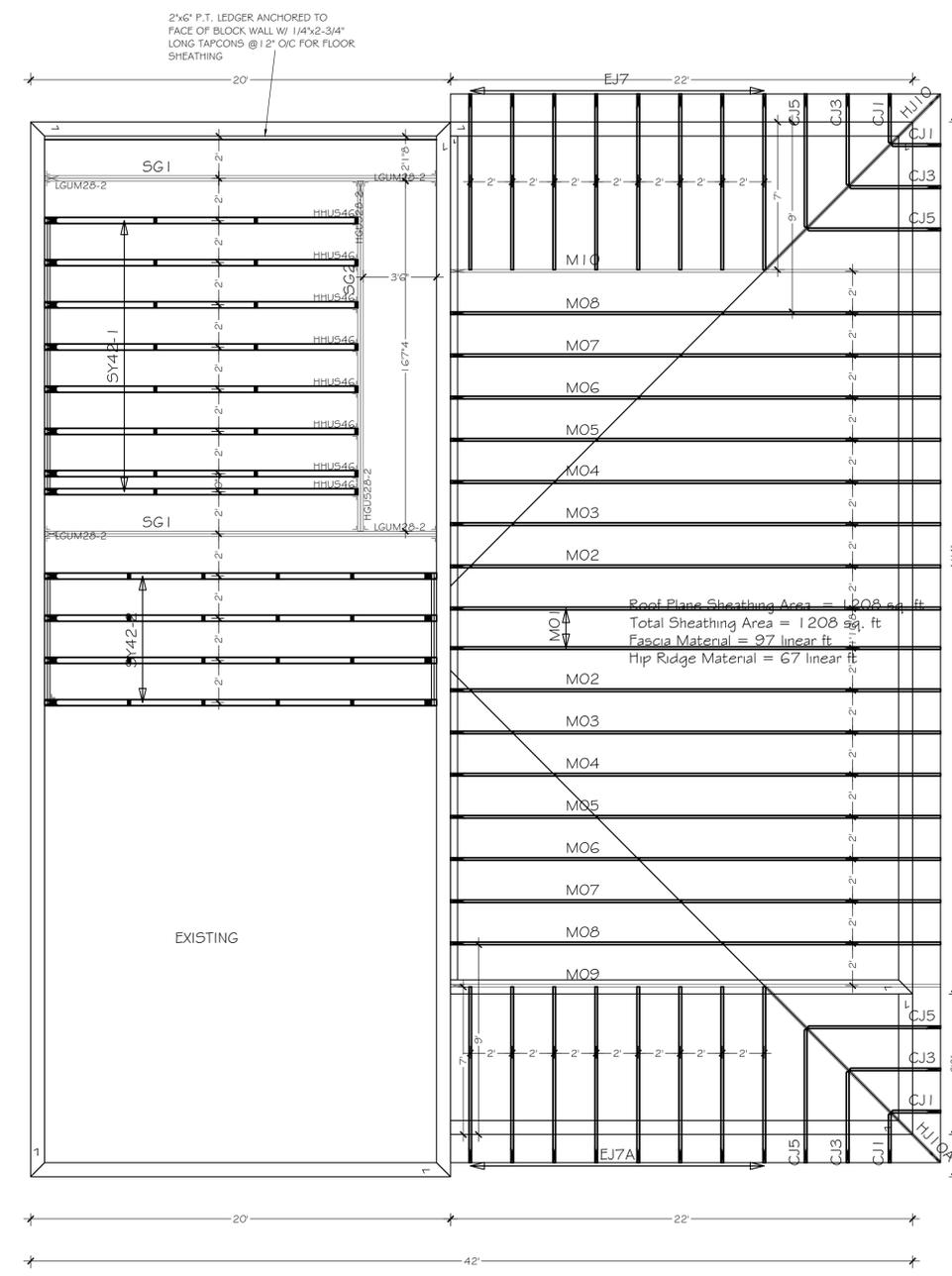
BUILDER OPTION:
POWER BOX LINTELS (SEE LINTEL SCHEDULE)
FOR CLEAR SPANS OVER 10'-0" UP TO 30'-0" USE
POWER BOX LINTEL (8" x 16" 1699 COMPOSITE DET. 1)
W/8" IN 8" x 16" CMU'S. (PER POWERS STEEL
CATALOG/MAY REPLACE MASONRY LINTELS)

**BORA-CARE SUBTERRANEAN TERMITE
TREATMENT TO BE USED W/ TERMITE TUBES. APPLICATION TO
GROUND FLOOR FLOOR HOOD SURFACES ONLY.
PER CH. 816.12, FL STATUTES FEB. 2023, 8TH ED.**

NOTES:
NOTE: PLUMBER TO VERIFY
LOCATION OF FIXTURES

NOTE: FOUNDATION CONTRACTOR
TO VERIFY PLACEMENT OF STEEL
REINFORCEMENT CLEARS WINDOW
OPENINGS (VERIFY W/FLOOR PLAN)

- FOOTING DOVEL & POURED CELL W/ #5 FROM SLAB TO BOND BEAM. DOVELS: 90°-10° LG. HOOK - MIN. EMBED. 5" INTO 8" FOOTINGS AND 6" IN ALL OTHERS MIN. LAP @ VERTICAL WALL REINFORCEMENT = 25'
- FOUNDATION CONTRACTOR TO VERIFY LOCATIONS OF REINFORCEMENT NEAR OPENINGS (FLOOR/FOUNDATION PLANS)
- ALL EXTERIOR WALLS ARE ENGINEERED AS SHEAR WALLS SHEARWALLS FOR SIDE & ENDWALLS CONFORM TO MIN. DESIGN REQUIREMENTS OF FEB. 8th Ed. (2023) & PROVISIONS OF THE NATIONAL CONCRETE MASONRY ASSOC. SPECIFICATION AND ACI 318 (BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES)
- FOUNDATION PLAN IS VALID AS SHOWN UNLESS ADDITIONAL REQUIREMENTS ARE INDICATED ON SOILS TEST REPORT NOT AVAILABLE TO ENGINEER OF RECORD PRIOR TO THIS DESIGN



Truss Layout
1/4" = 1'-0"
ROOF PITCH = 2.5:12
ROOF OVERHANG = 16'

Roof Plane Sheathing Area = 1,208 sq. ft.
Total Sheathing Area = 1,208 sq. ft.
Fascia Material = 97 linear ft.
Hip Ridge Material = 67 linear ft.

REVISIONS	BY

ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1805 E. EGRESS BLVD., SUITE 100, ORLANDO, FL 32805
PHONE: 407-949-8800 FAX: 407-949-8805
STATE OF FLORIDA CERT. OF AUTHORIZATION # EB6347
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 97946

Addition For:
The Ginevra Residence
6935 Indian Creek Park Dr., Lakeland,
FL 33813- Foundation Plan

Hulbert Homes, Inc.
PHONE: 863-647-5815
FAX: 644-1120

ARKAY JOB #21513

DRAWN BY
SDF
DATE CHECKED
9 DEC 2025
DATE
9 DEC 2025
SCALE
AS NOTED
SHEET
2
OF 4 SHEETS
PAPER SIZE
24"x36"

MINIMUM STEMWALL HT. = 1'-4" AS SHOWN ON WALL SECTIONS. IF STEMWALL EXCEEDS 4 EXPOSED COURSES IN HT. THE ENGINEER OF RECORD MUST REVIEW THE FOUNDATION PLAN TO DETERMINE IF MORE POURED CELLS ARE REQUIRED. IF STEMWALL EXCEEDS 4 COURSES - ALL CELLS INDICATED ON FOUNDATION PLAN MUST BE POURED FULL PRIOR TO BACKFILLING OF FOUNDATION.

DESIGN LOADS:
1. Design conforms with Florida Bldg. Code 8th Edition (2023) (Building & Residential) Design Criteria for 140MPH Wind Forces For Buildings & Other Structures.
2. Wind: No. 2 Grade Southern Pine or Better
3. Risk Category II
4. MFRS Chapters 26 Thru 29
5. Chap. 30. Components/Cladding (C4 C) Part I: Low Rise Building
Doors & Windows: 141 PSF
Garage Door: 18.5/20.1
6. Internal Pressure Coefficient: ± 0.18
7. Exposure 'B'
8. Residential Category R3

NOTE: DIMENSIONS ARE APPROXIMATE. Dimensions are from inside masonry and framing, rounded up to the nearest inch. Masonry walls = 8". Frame walls = 4". Address, framing, drywall, insulation and baseboards are not included in dimensions. Final construction may vary from these specifications.

REVISIONS	BY

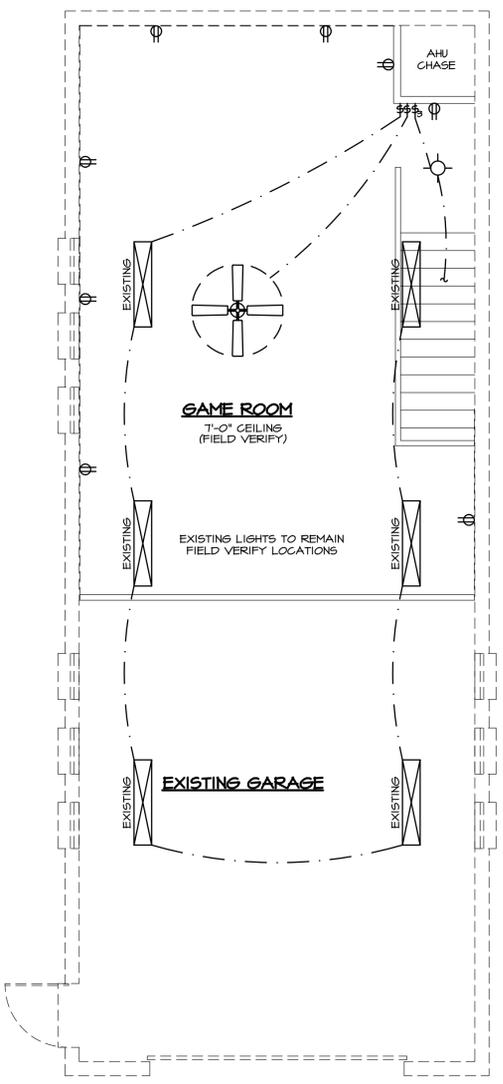
ENGINEER OF RECORD:
ARKAY ENGINEERING INC.
 STRUCTURAL ENGINEERS
 1805 E. EISENHOWER BLVD., SUITE 200, ORLANDO, FL 32805
 PHONE: 407-949-2600 FAX: 407-949-4537
 STATE OF FLORIDA CERT. OF AUTHORIZATION # EB0347
 RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 97196

Addition For:
The Ginevra Residence
 6435 Indian Creek Park Dr., Lakeland,
 FL, 33813 - Lighting & Electrical Plan

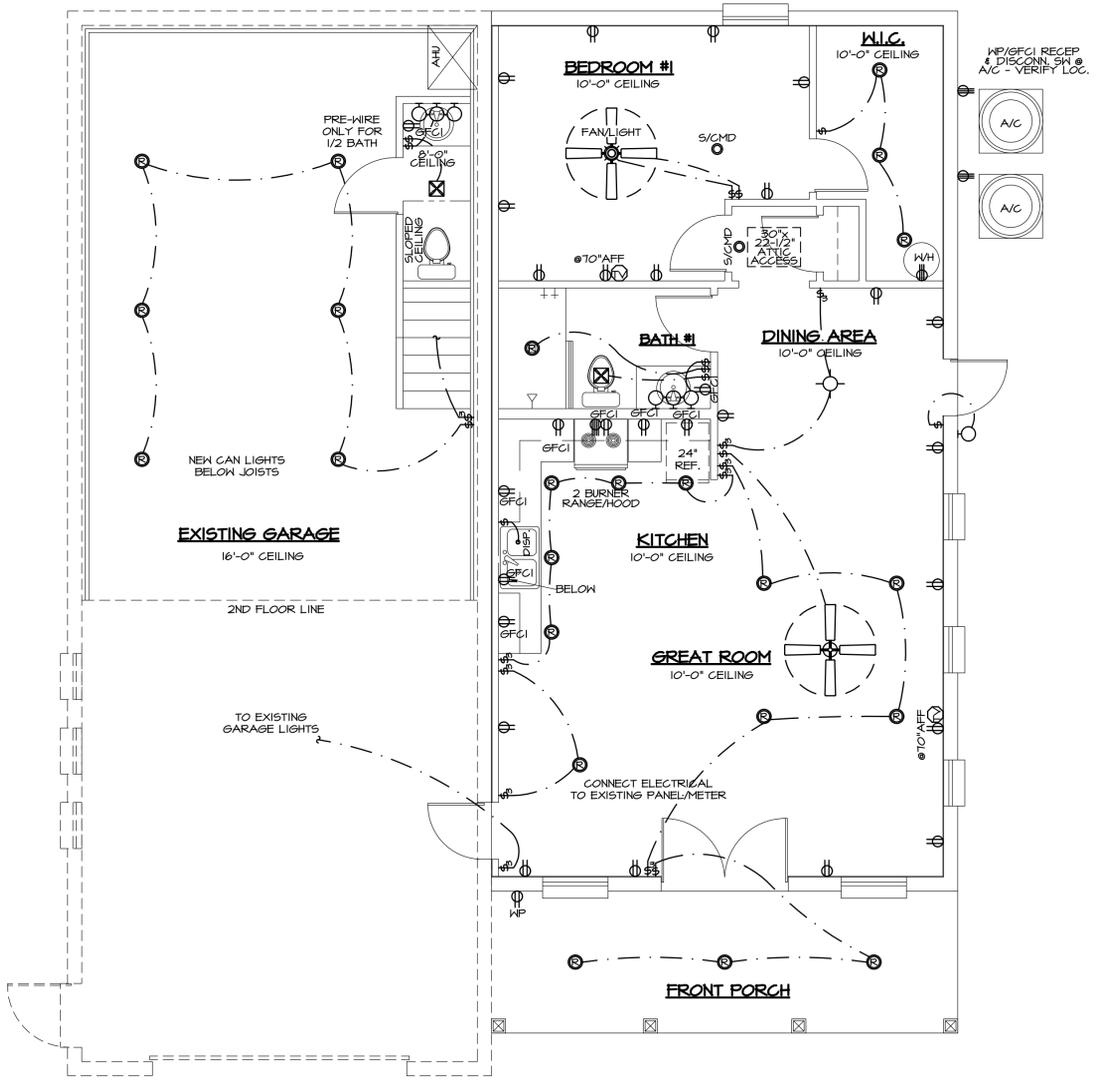
Hulbert Homes, Inc.
 PHONE: 863-647-5815
 FAX: 844-1125

ARKAY JOB #21513

DRAWN BY
 SDF
 DATE CHECKED
 9 DEC 2025
 DATE
 23 OCT 2025
 SCALE
 AS NOTED
 SHEET
 4
 OF 4 SHEETS
 PAPER SIZE
 24"x36"



Game Room Lighting & Electrical Plan
 1/4" = 1'-0"



Addition Lighting & Electrical Plan
 1/4" = 1'-0"

NATIONAL ELECTRICAL CODE NOTE:

ARTICLE 210.8
 GFCI PROTECTION FOR ALL 125-VOLT THROUGH 250-VOLT RECEPTACLES. THIS CHANGE EFFECTIVELY REQUIRES GFCI PROTECTION FOR WASHING MACHINES, DRYERS, RANGES AND STOVES AND OTHER APPLIANCES IN DWELLINGS. THIS IS A PLAN REVIEW ITEM AND SHOULD BE SHOWN ON PLANS.

ARTICLE 210.52 (C) (3)
 REQUIRED KITCHEN RECEPTACLES NOT MORE THAN 20 INCHES ABOVE COUNTER TOPS; LISTED RECEPTACLES REQUIRED FOR COUNTERTOP INSTALLATION, RECEPTACLES NOT MORE THAN 12 INCHES BELOW COUNTER TOPS AND NOT ALLOWED BELOW COUNTER TOPS THAT EXTEND MORE 6 INCHES BEYOND ITS SUPPORT BASE.

ARTICLE 210.63
 LOCATION OF EQUIPMENT SERVICE OUTLET, NEW SECTION REQUIRING EQUIPMENT SERVICE OUTLETS TO BE ON THE SAME LEVEL AS THE EQUIPMENT SERVED. THIS IS A PLAN REVIEW ITEM AND SHOULD BE SHOWN ON PLANS.

ARTICLE 210.70 (A) (1)
 LOCATION OF WALL MOUNTED CONTROL DEVICES (GENERALLY MEANS LIGHT SWITCHES) ARE REQUIRED IN CLOSE PROXIMITY TO ENTRANCES TO HABITABLE ROOMS, KITCHENS AND BATHROOMS. THIS MEANS ROOMS WITH MULTIPLE ENTRANCES REQUIRE MULTIPLE SWITCHES SO LIGHTING CAN BE CONTROLLED FROM ALL ENTRANCES. THIS IS A PLAN REVIEW ITEM AND SHOULD BE SHOWN ON PLANS.

ARTICLE 230.67
 ALL SERVICES INCLUDING REPLACED SERVICES REQUIRE TYPE 1 OR TYPE 2 SURGE PROTECTORS. THIS IS A PLAN REVIEW ITEM AND SHOULD BE SHOWN ON PLANS.

ARTICLE 230.85
 EMERGENCY SERVICE DISCONNECT NOW REQUIRED ON EXTERIOR OF HOME AND IDENTIFIED BY LABEL. THIS CHANGE ELIMINATES SERVICE DISCONNECTING MEANS INSIDE BUILDING INCLUDING BACK-TO-BACK INSTALLATIONS. ALSO REQUIRED ON SERVICE CHANGE OUT. THIS IS A PLAN REVIEW ITEM AND SHOULD BE SHOWN ON PLANS.

ARTICLE 242
 A NEW ARTICLE COVERING SURGE PROTECTORS INCLUDING LOCATIONS, WIRING METHODS AND SURGE PROTECTOR TYPES.

ARTICLE 314.27 (C)
 ELECTRICAL BOXES LISTED FOR SOLE SUPPORT OF CEILING FANS OR BOXES ATTACHED TO DIRECTLY TO STRUCTURAL FRAMING REQUIRED IN ALL HABITABLE ROOMS.

ARTICLE 406.9
 NO RECEPTACLES WITHIN 3 FEET HORIZONTALLY OR 8 FEET VERTICALLY FROM BATHUB RIMS OR SHOWER THRESHOLD. EXCEPTION FOR SMALL BATHROOMS REMAINS.

ARTICLE 445.18
 GENERATORS WITH A RATING GREATER THAN 15KW REQUIRE REMOTE EMERGENCY STOP SWITCH LOCATED OUTSIDE OF THE GENERATOR ENCLOSURE. THIS IS A PLAN REVIEW ITEM AND SHOULD BE SHOWN ON PLANS.

ARTICLE 625.54
 GFCI PROTECTION FOR RECEPTACLES INSTALLED FOR CONNECTION OF ELECTRIC VEHICLE CHARGING. THIS IS A PLAN REVIEW ITEM AND SHOULD BE SHOWN ON PLANS.

ARTICLE 680.21 (C)
 OUTLETS SUPPLYING POOL MOTORS ON BRANCH CIRCUITS TO BE GFCI PROTECTED. THIS IS A PLAN REVIEW ITEM AND SHOULD BE SHOWN ON PLANS.

ARTICLE 690
 SOLAR PV SYSTEMS. EXTENSIVE REWRITE OF THIS ARTICLE AND NUMEROUS CHANGES AND NEW REQUIREMENTS.

ELECTRICAL LEGEND			
⊕	DUPLEX RECEPTACLE	⊕	LED LIGHT
⊕	220V RECEPTACLES	⊕	TELEVISION OUTLET
⊕	SPLIT-WIRED RECEPTACLE	⊕	PHONE JACK
⊕	WEATHERPROOF RECEPT.	⊕	SMOKE DETECTOR *
⊕	GFCI GROUND FAULT INTERRUPT *	⊕	CARBON MONOXIDE DETECTOR*
⊕	ARC FAULT INTERRUPT *	⊕	COMBO SMOKE/CO DETECTOR*
⊕	SINGLE SWITCH	⊕	LIGHT FIXTURE
⊕	THREE-WAY SWITCH	⊕	DIMMER
⊕	RECESSED CAN	⊕	VENT FAN
⊕	EYEBALL SPOT	⊕	FLOODLIGHTS
⊕	PENDANT HANGING LIGHT	⊕	FAN FAN/LIGHT/HEATLAMP
⊕	ACCENT LIGHT	⊕	VENTALITE

ELECTRICAL NOTES (NEC 2020):

- SMOKE/CO DETECTORS TO BE HARD WIRED & INTERCONNECTED W/ BATTERY BACKUPS. *
- CO DETECTORS (CHD) TO BE PROVIDED @ GARAGE ENTRY DOORS ON RESIDENCE SIDE. *
- WATERPROOF RECEPTACLES PER NEC 2020.
- GFCI PROTECTED CIRCUITS: ALL GARAGE, KITCHEN, BATH, LAUNDRY & EXTERIOR RECEPTS. *
- PROVIDE GFCI RECEPTACLE @ AHU FOR SERVICE TECHNICIAN
- PROVIDE GFCI RECEPTACLE & DISCONNECT SWITCH @ A/C CONDENSER
- ALL LED BULBS WHEN POSSIBLE *

- DESIGN LOADS:**
- Design conforms with Florida Bldg. Code 9th Edition (2023) (Building & Residential) Design Criteria for 140MPH Wind Forces Per ASCE/SEI 7-22 Minimum Design Loads For Buildings & Other Structures.
 - Wood: No. 2 Grade Southern Pine Or Better
 - Risk Category II
 - MNFRS Chapters 26 Thru 24
 - Chap. 30: Components/Cladding (C & C) Part 1: Low Rise Building Doors & Windows: ±47 PSF Garage Door: ±18.5/-20.4
 - Internal Pressure Coefficient: ± 0.18
 - Exposure 'B'
 - Residential Category R3

AREAS:	
NEW LIVING	909
NEW GAME ROOM	468
EXISTING GARAGE	1,000
NEWFRONT PORCH	147
TOTAL:	2,524

GENERAL NOTES:

THIS BUILDING HAS BEEN DESIGNED TO CONFORM TO THE 2023 FLORIDA BUILDING CODE 8TH EDITION AND THE 2023 FLORIDA BUILDING CODE - RESIDENTIAL 8TH EDITION

ARKAY ENGINEERING, INC. A REGISTERED, LICENSED, FLORIDA PROFESSIONAL STRUCTURAL ENGINEERING COMPANY HAS APPLIED "RATIONAL ANALYSIS" FOR THE STRUCTURAL DESIGN OF THIS STRUCTURE.

THE BUILDING (INCLUDING ALL COMPONENTS AND CLADDINGS) SHALL BE DESIGNED FOR THE FOLLOWING SUPERIMPOSED LOADS:

FLOORS:
LIVE LOAD - 40 P.S.F.
DEAD LOAD - 10 P.S.F.

ROOF:
LIVE LOAD (TRUSS TOP CHORD) - 20 P.S.F.
DEAD LOAD (TRUSS TOP CHORD) - 10 P.S.F. (IF P.S.F. WHEN TILE ROOFING IS INSTALLED)
DEAD LOAD (TRUSS BOTTOM CHORD) - 7 P.S.F.
ASSUMED TRUSS SELF WEIGHT (DEAD LOAD) - 7 P.S.F.

WIND:
BUILDING IS DESIGNED TO CONFORM TO ASCE 7-22, CHAPTERS 26 THRU 31 PER 2023 FLORIDA BUILDING CODE, RESIDENTIAL - SECTION R302.2.11 AND 2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R601.1

WIND DESIGN ASSUMPTIONS:
BUILDING EXPOSURE - D
BUILDING RISK CATEGORY - II
MEAN ROOF HEIGHT 30' OR LESS
HEIGHT & EXPOSURE ADJUSTMENT COEFFICIENT = 1.0
ENCLOSED BUILDING
INTERNAL PRESSURE COEFFICIENT = +/- 0.18
WIND SPEED SHOWN AT THE BOTTOM RIGHT CORNER OF THIS SHEET

ALL STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS SHALL BE TYPE V CONSTRUCTION PER FBC 602.5

COMPONENT & CLADDING WIND LOADS		
BUILDING ZONE	ROOF OVERHANG LOADS	ALL OTHER COMPONENT LOADS
1	N/A	+32.3/-35.3
2	-65.7	+32.3/-56.2
3	-10.6	+32.3/-84.0
4	N/A	+35.3/-38.2
5	N/A	+35.3/-47.2

SOIL BEARING & COMPACTION:

THESE PLANS WERE DRAWN BASED UPON AN ALLOWABLE SOIL BEARING CAPACITY OF 2,000 P.S.F. (MINIMUM). THE CONTRACTOR/PROPERTY OWNER ARE RESPONSIBLE FOR VERIFYING THAT THE SOIL ON THE SITE IS PROPERLY PREPARED & COMPACTED SUCH THAT IT CAN SUPPORT A 2,000 P.S.F. FOUNDATION LOADING.

ARKAY ENGINEERING, INC. A REGISTERED, LICENSED, FLORIDA PROFESSIONAL STRUCTURAL ENGINEERING COMPANY, DESIGNED THESE FOUNDATIONS WITHOUT VISITING THE CONSTRUCTION SITE NOR PERFORMING ANY SOIL TESTING.

ARKAY ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR THE SITE SOILS ABILITY TO SUPPORT THE BUILDING LOADS.

FOUNDATIONS & SLAB-ON-GRADE:

BUILDING SITE SHALL BE SCAVED TO REMOVE ALL ORGANIC MATERIALS WITHIN THE BUILDING AREA. ANY ADDITIONAL FILL PLACED ON THE BUILDING PAD AREA SHALL BE COMPACTED SUCH THAT IT CAN ADEQUATELY SUPPORT A 2,000 P.S.F. FOUNDATION LOADING.

SLAB SHALL BE PLACED OVER A 6 MIL. VAPOR BARRIER ON CLEAN, ADEQUATELY COMPACTED AND TIGHTLY PACKED SOIL.

CONCRETE UTILIZED IN THE FOUNDATIONS AND SLABS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 P.S.I.

REINFORCING STEEL SHALL BE GRADE 40 MINIMUM AND IDENTIFIED IN ACCORDANCE WITH ASTM A-65. LAP SPLICES, WHERE REQUIRED, SHALL BE A MINIMUM OF 25" FOR #5 REBAR, 30" FOR #6 REBAR & 35" FOR #7 REBAR.

PLANS ARE ENGINEERED FOR A MAXIMUM STEMWALL HEIGHT OF 4 COURSES (AFTER FINAL SITE GRADING). THE CONTRACTOR OR BUILDING OWNER SHALL DETERMINE THE EXACT STEMWALL HEIGHT BASED UPON SITE CONDITIONS PRIOR TO POURING THE FOUNDATION AND CONTACT ARKAY ENGINEERING WHEN MORE THAN 4 COURSES ARE REQUIRED.

A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTOR'S USE, OR ALL PROPERTY MARKERS SHALL BE EXPOSED AND A STRING STRETCHED FROM MARKER TO MARKER TO VERIFY THE REQUIRED BUILDING SETBACKS.

MASONRY WALLS:

CONCRETE MASONRY UNITS SHALL BE HOLLOW UNIT MASONRY IN ACCORDANCE WITH ASTM C-90 AND SHALL HAVE A MINIMUM FM OF 1,500 P.S.I.

MORTAR SHALL CONFORM TO ASTM C-270 AND SHALL BE EITHER TYPE M OR S.

REINFORCING STEEL SHALL BE GRADE 40 MINIMUM AND IDENTIFIED IN ACCORDANCE WITH ASTM A-65. LAP SPLICES, WHERE REQUIRED, SHALL BE A MINIMUM OF 25" FOR #5 REBAR, 30" FOR #6 REBAR & 35" FOR #7 REBAR.

CROUT FOR THE POURED CELLS AND LINTELS SHALL HAVE A MAXIMUM COURSE AGGREGATE SIZE OF 3/8", PLACED AT AN 8" TO 12" INCH SLUMP AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 P.S.I. (WHEN TESTED PER ASTM C-109).

PROVIDE CLEAN-OUT OPENINGS (2 SQ. IN.) IN CELLS CONTAINING SPLICED REINFORCEMENT, WHEN THE CROUT FOUR EXCEEDS 5 FEET IN HEIGHT.

TIMBER MATERIALS:

ALL TIMBER MATERIALS SHALL BE AS FOLLOWS:

LVL BEAMS SHALL BE (LBE) MICROSLAM LVL MATERIALS MANUFACTURED BY TRUSSJOIST MACMILLAN (OR EQUAL).

LUMBER UTILIZED IN BOTTOM PLATES, TOP PLATES, POSTS, STUD PACKS AND BEAMS SHALL BE #2 YELLOW PINE (OR BETTER).

EXTERIOR AND INTERIOR LOAD BEARING STUDS SHALL BE #2 SPRUCE (OR BETTER). ALL OTHER STUDS SHALL BE "STUD GRADE" SPRUCE.

PSL POSTS SHALL BE (LBE) PARALLAM PSL MATERIALS MANUFACTURED BY TRUSSJOIST MACMILLAN (OR EQUAL). SEE POST SUPPORT TABLE ON THIS SHEET FOR LOAD VALUES.

EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 1/2" PLYWOOD OR 7/16" OSB (2-M-W RATING) NAILED WITH 8D NAILS SPACED AT 3" O.C. ALONG ALL HORIZONTAL JOINTS & EDGES @ 6" O.C. ALONG ALL VERTICAL JOINTS & EDGES AND 12" O.C. ALONG ALL INTERMEDIATE STUDS.

AT OPENINGS 5'-0" WIDE OR LARGER, STRAP HEADER BEAM TO THE HEADER STUDS WITH (2) USP OR SIMPSON "LSTA24" STRAP TIES AT EACH END OF HEADER BEAM. ANCHOR BOTTOM OF HEADER STUDS TO FOUNDATION WITH A USP OR SIMPSON "HT16" TENSION TIE.

ANCHOR WOOD SHEARWALL SEGMENTS TO FOUNDATION WITH A USP OR SIMPSON "HT16" TENSION TIE AT EACH END OF WALL SEGMENTS AND AT ANY WALL SEGMENT INTERSECTIONS (BUILDING CORNERS).

ANCHOR TRUSSES AS FOLLOWS:
ROOF UPLIFTS OF 45# AND LESS USE (1) USP "RT3" OR SIMPSON "H3" HURRICANE TIE.
FOR UPLIFTS FROM 45# UP TO 90# USE (2) USP "RT3" OR SIMPSON "H3" HURRICANE TIES.
UPLIFTS FROM 90# UP TO 145# USE A USP "HT20" OR SIMPSON "HT20" TWIST STRAP.

ALL PLUMBING, ELECTRICAL AND MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED AND APPROVED PRIOR TO REQUESTING THE FRAMING INSPECTION.

IF DESIRED, EQUIVALENT CONNECTORS MADE BY ANOTHER SUPPLIER MAY BE USED IN PLACE OF THE USP[®] OR SIMPSON[®] CONNECTORS SHOWN.

SOIL TERMITE TREATMENT:

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING PESTICIDES APPLIED TO SOIL, OR WOOD, BAITING SYSTEMS, OR OTHER APPROVED PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

A "CERTIFICATE OF COMPLIANCE" SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A "CERTIFICATE OF OCCUPANCY" WILL BE ISSUED. THE CERTIFICATE SHALL STATE:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

IF A REGISTERED TERMITICIDE BAIT SYSTEM IS TO BE USED FOR SUBTERRANEAN TERMITE PREVENTION, SECTIONS R320.11 THROUGH R320.16 DO NOT APPLY. A SIGNED FIVE-YEAR CONTRACT FROM THE ISSUER OF THE CERTIFICATE OF OCCUPANCY ASSIGNING MAINTENANCE AND MONITORING OF THE BAITING SYSTEM SHALL BE PROVIDED TO THE BUILDING OFFICIAL PRIOR TO THE SLAB POUR. THE SYSTEM MUST BE INSTALLED PRIOR TO FINAL BUILDING APPROVAL.

INITIAL SOIL POISONING TREATMENT SHALL BE DONE AFTER ALL EXCAVATION, BACKFILLING & COMPACTION ARE COMPLETE.

ANY SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RE-TREATED (INCLUDING ANY BOXED OR FORMED AREAS).

DOZEY AREAS IN THE CONCRETE SLAB FOR INSTALLATION OF TRAPS SHALL BE MADE WITH PROMANET METAL OR PLASTIC FORMS. PROMANET FORMS MUST BE OF AN ADEQUATE SIZE & DEPTH TO ELIMINATE ANY DISTURBANCE OF THE SOIL AFTER THE INITIAL TREATMENT.

A MINIMUM 6 MIL VAPOR BARRIER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL INFILTRATION IF RAINFALL OCCURS BEFORE VAPOR BARRIER PLACEMENT, RE-TREATMENT SHALL BE REQUIRED.

ANY CONCRETE OVERPOUR, MORTAR OR STUCCO MATERIALS ALONG THE FOUNDATION PERIMETER MUST BE REMOVED PRIOR TO EXTERIOR SOIL TREATMENT.

EXTERIOR SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 12 INCHES OF THE STRUCTURE SIDE WALLS.

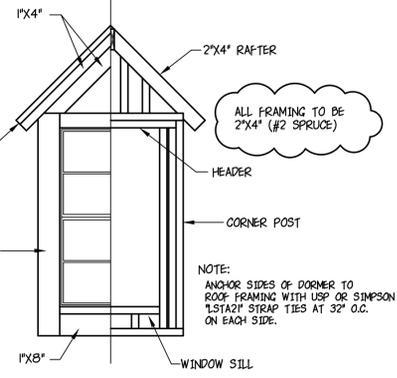
AN EXTERIOR VERTICAL CHEMICAL BARRIER SHALL BE INSTALLED AFTER CONSTRUCTION IS COMPLETE (INCLUDING LANDSCAPING AND IRRIGATION). ANY SOILS DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RE-TREATED.

CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 12 INCHES AWAY FROM THE BUILDING SIDEWALLS.

AFTER ALL WORK IS COMPLETED, ANY LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 12 INCHES OF THE BUILDING. THIS SHALL INCLUDE ALL GRADE STAKES, TUB TRAP BOXES FORMS, SHORING AND ANY OTHER CELLULOSE CONTAINING MATERIALS.

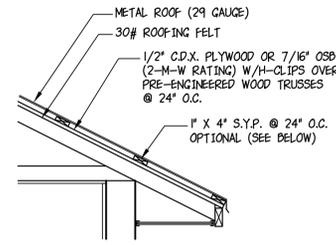
THE DISTANCE FROM THE EXTERIOR WALL COVERING (EXCEPTIONS PAINT AND DECORATIVE SEMI-GLAZED FINISHES AND REAR AN ANNA OR WORM LABEL IDENTIFYING THE MANUFACTURER, CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY).

CONCRETE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 12 INCHES TO ALLOW FOR INSPECTION FOR FUTURE TERMITE INFESTATIONS.



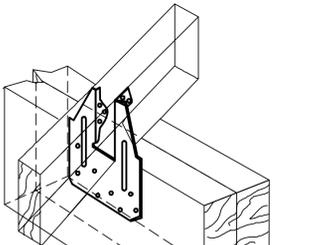
DORMER DETAIL
SCALE: 1/2" = 1'-0"

ROOF SHEATHING SHALL BE FASTENED TO ROOF FRAMING IN ACCORDANCE WITH TABLE RB03.2.3.1 WHERE THE SHEATHING THICKNESS IS 15/32 INCHES OR LESS. SHEATHING SHALL BE FASTENED WITH ASTM F1667 R262-1 (23/8" X 0.10") NAILS. WHERE THE SHEATHING THICKNESS IS GREATER THAN 15/32 INCHES, SHEATHING SHALL BE FASTENED WITH ASTM F1667 R262-03 (21/2" X 0.13") NAILS OR ASTM F1667 R262-04 (3" X 0.10") NAILS. R262-01, R262-03 AND R262-04 ARE RING SHANK NAILS MEETING THE SPECIFICATIONS IN ASTM F1667.2. MUST COMPLY WITH TABLE RB03.2.3.1 ROOF SHEATHING ATTACHMENT A, B AND TABLE RB03.2.2 MINIMUM ROOF SHEATHING THICKNESS.



METAL ROOF OPTION
SCALE: 1/2" = 1'-0"

FASTEN 1" X 4" TO TRUSS W/ (2) 12D NAILS
ATTACH METAL ROOF TO 1" X 4" W/ #10
1-1/2" LONG WOODGRIP SCREWS SPACED
@ 12" O.C. MAXIMUM.



TRUSS TO BEAM DETAIL
SCALE: 1/2" = 1'-0"

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)
USP "HT16"	HURRICANE CLIP-WIDE	8-8D	105 645 650
SIMPSON "H3"	HURRICANE CLIP-WIDE	8-8D	905 585 525

TRUSSES:
IF THE CONTRACTOR, TRUSS MANUFACTURER OR ANY OTHER DESIGN PROFESSIONALS REVISE THE TRUSS SYSTEM LAYOUT FROM THOSE SHOWN ON THESE PLANS ARKAY ENGINEERING, INC. IS REQUIRED TO REVIEW ALL FINAL CONSTRUCTION DOCUMENTS FOR COMPLIANCE WITH THE DESIGN INTENT PRIOR TO COMMENCEMENT OF THE PROJECT.

EXTERIOR WINDOWS & DOOR ASSEMBLIES:
ALL EXTERIOR WINDOW & CLASS DOORS SHALL BE TESTED IN ACCORDANCE WITH ANSI/AMMA/NWMA 301/25 STANDARDS AND BEAR AN ANNA OR WORM LABEL IDENTIFYING THE MANUFACTURER, CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY.
ALL MULLIONS AND ADJACENT DOOR/WINDOW ASSEMBLIES SHALL BE TESTED OR ENGINEERED TO TRANSFER 15 TIMES THE DESIGN LOADS TO THE ROUGH OPENING SUBSTRATE.
INSTALL ALL WINDOW & DOOR ASSEMBLIES PER THE MANUFACTURERS ANCHORING RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURES SPECIFIED.

ELECTRICAL, PLUMBING & MECHANICAL:
IN ACCORDANCE WITH CHAPTER 47100(2)(1) OF THE FLORIDA ADMINISTRATIVE CODE: ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS SHALL BE DESIGNED BY THE RESPECTIVE CONTRACTORS TO MEET ALL APPLICABLE CODES. THE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS DRAWN HEREON ARE BASED UPON A DESIGN PROVIDED BY THE OWNER TO ADDRESS HIS/HER REQUIREMENTS.
ALL ELECTRICAL OUTLETS IN BATHROOMS, KITCHEN (WITHIN 6 FEET OF SINKS), CHARGE AND AT EXTERIOR LOCATIONS SHALL BE WIRED INTO A GROUND-FAULT INTERRUPTER "GFI" CIRCUIT.
ALL ELECTRICAL OUTLETS IN BEDROOMS SHALL BE WIRED INTO AN ARC-FAULT INTERRUPTER "AFCI" CIRCUIT.

SAFETY GLAZING:
THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING PER THE FLORIDA BUILDING CODE, RESIDENTIAL - SECTION M305.13:
(1) GLAZING IN SWINGING DOORS, FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES.
(2) GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.
(3) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FINISHED FLOOR OR WALKING SURFACE.
(4) GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS (2) AND (3) ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
A) EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQ. FT.
B) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
C) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
D) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.
REFER TO THE FLORIDA BUILDING CODE, RESIDENTIAL - SECTION R308 FOR ADDITIONAL AREAS THAT MAY BE CONSIDERED A HAZARDOUS LOCATION FOR THE PURPOSE OF GLAZING.

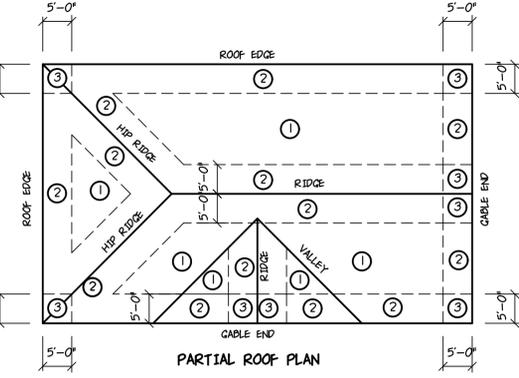
DRAFTSTOPPING:
IN SINGLE FAMILY DWELLINGS, DRAFTSTOPPING SHALL BE PROVIDED (PARALLEL TO THE MAIN FRAMING MEMBERS) IN FLOOR/CEILING ASSEMBLIES USING USABLE SPACES. DRAFTSTOPPING SHALL BE CONSTRUCTED SUCH THAT THE FLOOR/CEILING ASSEMBLY IS BROKEN UP INTO TWO OR MORE APPROXIMATE AREAS WITH NO AREA GREATER THAN 1000 SQ. FT.

ATTIC ACCESS:
ATTIC ACCESS SHALL BE PROVIDED TO ATTIC AREAS EXCEEDING 30 SQ. FT. AND HAVING MINIMUM 30 INCHES OF VERTICAL HEIGHT. ROOF-FRAMED OPENING NOT TO BE LESS THAN 22" X 30" INCHES. WHEN MECHANICAL EQUIPMENT IS LOCATED IN THE ATTIC, IT SHALL BE INSTALLED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, RESIDENTIAL - SECTION M305.13

GARAGE:
NO OPENINGS SHALL BE PERMITTED FROM A GARAGE INTO A SLEEPING ROOM. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A DOOR (MIN. 1 3/8" THICK) OF SOLID WOOD, SOLID OR HONEYCOMB CORE STEEL, OR 20-MINUTE FIRE-RATED WALLS SEPARATING THE GARAGE AND RESIDENCE SHALL HAVE MIN. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. THE CEILING SHALL HAVE MIN. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY ALL HABITABLE ROOMS ABOVE WITH MIN. 5/8" TYPE-X GYPSUM BOARD.

CONCRETE ENCASED "UFER" ELECTRODE REQUIRED PER CURRENT N.E.C. AND MUST BE INSPECTED PRIOR TO CONCRETE PLACEMENT.

UNDERGROUND CONDUIT SUPPLIED BY PROPERTY OWNER TO ELECTRIC COMPANY FEEDER LINE.



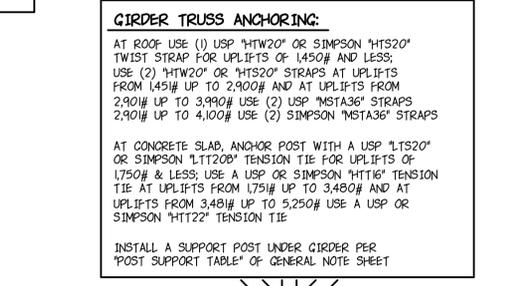
PARTIAL ROOF PLAN
SCALE: 1/4" = 1'-0"

ZONE ① 8D RING SHANK NAILS AT 6" O.C. AT EDGES
8D RING SHANK NAILS AT 6" O.C. INTERMEDIATE

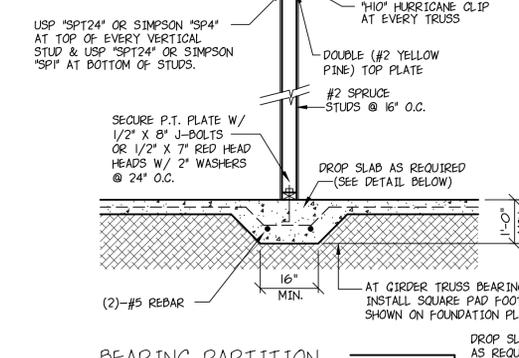
ZONES ② ③ 8D RING SHANK NAILS AT 6" O.C., 4" O.C. AT ROOF EDGES, RIDGE LINE, OR GABLE ENDWALL

NOTE: END JOINTS FOR SHEATHING SHALL BE STAGGERED AND OCCUR OVER A FRAMING MEMBER.

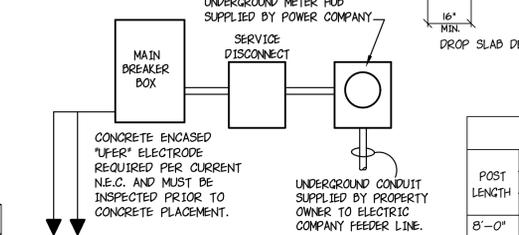
ROOF SHEATHING NAILING
SCALE: 1/4" = 1'-0"



GIRDER TRUSS ANCHORING
SCALE: 1/2" = 1'-0"



BEARING PARTITION
SCALE: 1/2" = 1'-0"



ELECTRIC RISER
NOT TO SCALE

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)
USP "P044"	POST CAP 4x4	20-8D	N/A 970
SIMPSON "P044"	POST CAP 4x4	20-8D	N/A 470

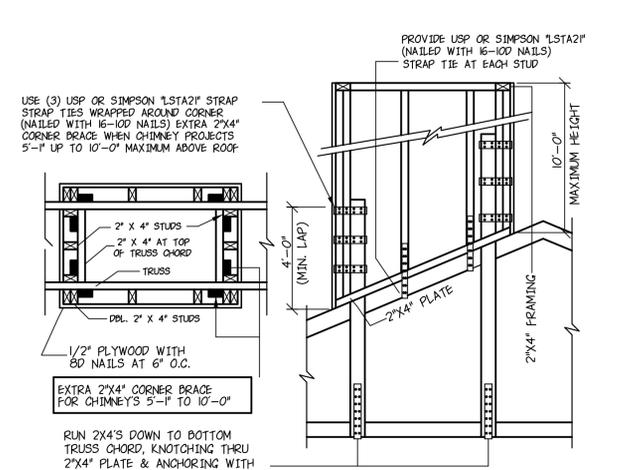
PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)
USP "P066"	POST CAP 6x6	20-8D	N/A 1625
SIMPSON "P066"	POST CAP 6x6	20-8D	N/A 470

BEAM TO POST DETAIL
NOT TO SCALE

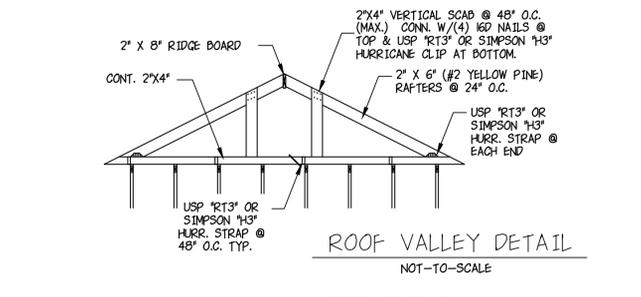
PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)
USP "P144"	POST ANCHOR 4x4	12-8D	6775 2350
SIMPSON "P144"	POST ANCHOR 4x4	12-8D	6665 2200

PRODUCT CODE	DESCRIPTION	FASTENERS	DESIGN LOADS (LBS.)
USP "P166"	POST ANCHOR 6x6	12-8D	16005 2380
SIMPSON "P166"	POST ANCHOR 6x6	12-8D	12000 2300

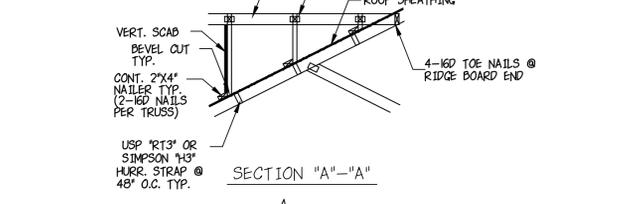
WOOD POST TO SLAB DETAIL
NOT TO SCALE



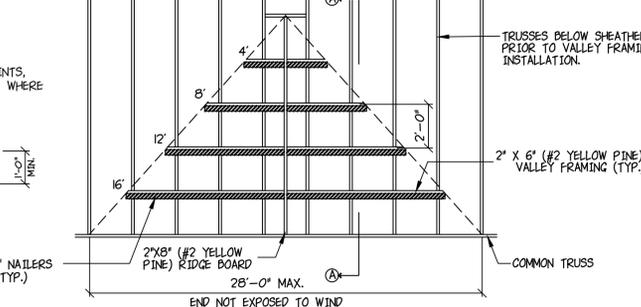
CHIMNEY DETAIL
SCALE: 3/4" = 1'-0"



ROOF VALLEY DETAIL
NOT-TO-SCALE



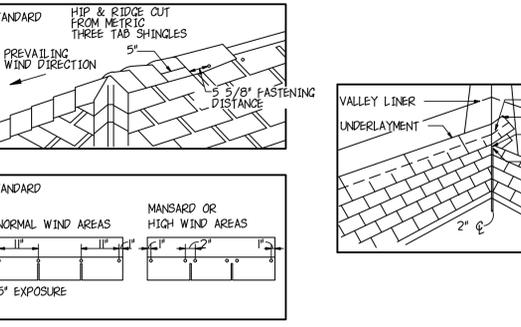
SECTION "A-A"



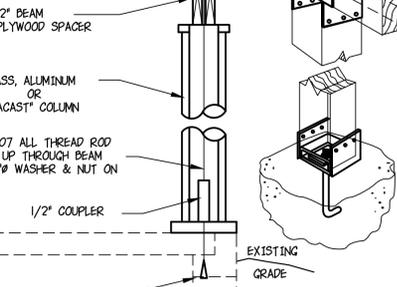
POST SUPPORT TABLE

POST LENGTH	POST SIZE							
	3 1/2" X 3 1/2"	3 1/2" X 5 1/4"	3 1/2" X 7"	5 1/4" X 5 1/4"	5 1/4" X 7"	7" X 7"	ROOF & FLOOR ONLY	ROOF & FLOOR
8'-0"	7,270#	10,905#	11,574#	14,539#	15,432#	26,655#	29,565#	35,540#
9'-0"	6,115#	6,441#	9,173#	9,662#	12,231#	12,883#	23,484#	31,312#
10'-0"	5,203#	5,449#	7,805#	8,173#	10,407#	10,897#	20,667#	27,556#
12'-0"	3,885#	4,033#	5,827#	6,050#	7,770#	8,067#	16,166#	21,555#
14'-0"	3,003#	3,099#	4,504#	4,649#	6,005#	6,199#	12,893#	13,566#
16'-0"							10,483#	10,952#
18'-0"							9,013#	11,565#
20'-0"							7,286#	7,540#
22'-0"								17,638#
24'-0"								15,333#

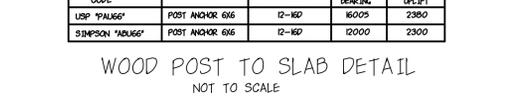
POSTS SHALL BE (LBE) PARALLAM PSL MATERIALS MANUFACTURED BY TRUSSJOIST MACMILLAN (OR EQUAL).



ROOF SHINGLE & FLASHING INSTALLATION SPEC'S
NOT TO SCALE



COLUMN DETAIL
SCALE: 1/2" = 1'-0"



WOOD POST TO SLAB DETAIL
NOT TO SCALE

ENGINEER OF RECORD:

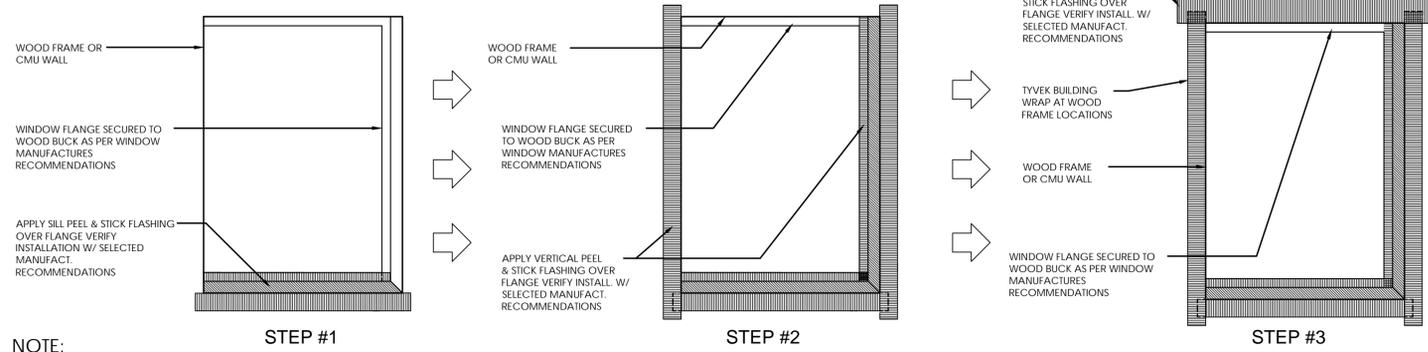
ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1955 E. EDGEWOOD DRIVE LAKELAND, FLORIDA 33803
PHONE: 863-688-6500 FAX: 863-688-6557
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # FB69347
RICHARD L. KIDDEY, P.E. - FLORIDA LICENSE # 371216

THE CONSTRUCTION PLANS SHOWN HEREON ARE IN CONFORMANCE WITH CHAPTER 16, SECTION 609.01 OF THE 2023 FLORIDA BUILDING CODE 8TH EDITION FOR 140 M.P.H. ULTIMATE DESIGN WIND SPEED (RISK CATEGORY III) ALONG WITH THE 2023 FLORIDA BUILDING CODE, RESIDENTIAL 8TH EDITION.

General Notes & Details

DATE: I-2-24
SCALE: AS NOTED
JOB # FBC2023-140

SHEET
GN
PERMIT SET



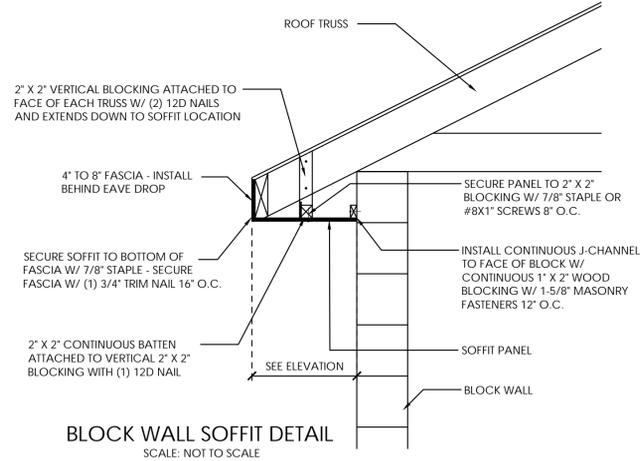
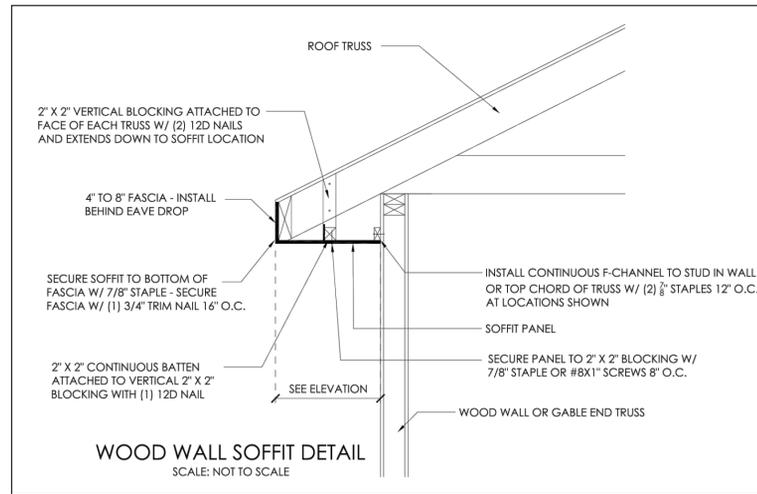
NOTE:

CONTRACTOR TO FLASH AND SEAL ALL WINDOW AND DOOR OPENINGS PER THE MANUFACTURER'S RECOMMENDATION AND SHALL PROVIDE A COMPLETE WATER TIGHT SEAL.

FLASHING NOTES:

- PROVIDE CORROSION-RESISTIVE FLASHING IN THE EXTERIOR WALL ENVELOPE TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
1. AT THE TOP OF ALL EXTERIOR WINDOWS AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING CONTINUOUS LAP OF NOT LESS THAN 1 1/8 INCH OVER THE SHEATHING MATERIAL. AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.
 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAMED CONSTRUCTION.
 6. AT WALL AND ROOF INTERSECTIONS.

EXTERIOR DOOR & WINDOW FLASHING



ROOF-TO-WALL FLASHING NOTES:

4" X 5" ANGLE FLASHING - 26 GAUGE GALVANIZED METAL, RUBBER VALLEY FLASHING OR 12" WIDE - 26 GAUGE GALVANIZED METAL WITH SHINGLES OVER THE TOP.

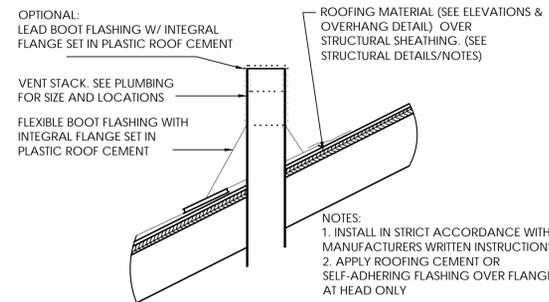
MATERIAL SPECIFICATIONS:

UNDERLAYMENT SHALL CONFORM TO ASTM D226, TYPE II OR ASTM 4869, TYPE III AND SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER. UNDERLAYMENT SHALL BE APPLIED SHINGLED FASHION, PARALLEL TO & STARTING FROM THE EAVE & LAPPED 2" (51MM), FASTENED W/ 1" (25MM) ROUND PLASTIC CAP, METAL CAP NAILS OR TIN-TABS ATTACHED TO A NAILABLE DECK W/ TWO STAGGERED ROWS IN THE FIELD OF THE SHEET W/ A MAXIMUM FASTENER SPACING OF 12" (305MM) O.C., AND ONE ROW AT THE OVERLAPS FASTENED 6" (152MM) O.C.

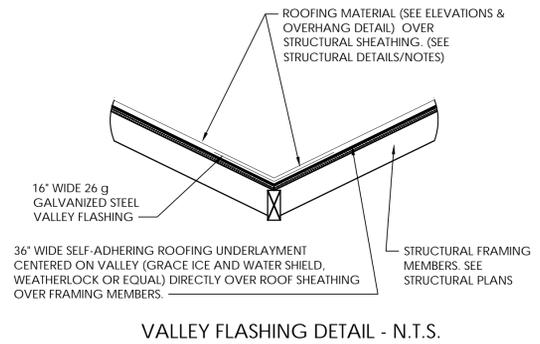
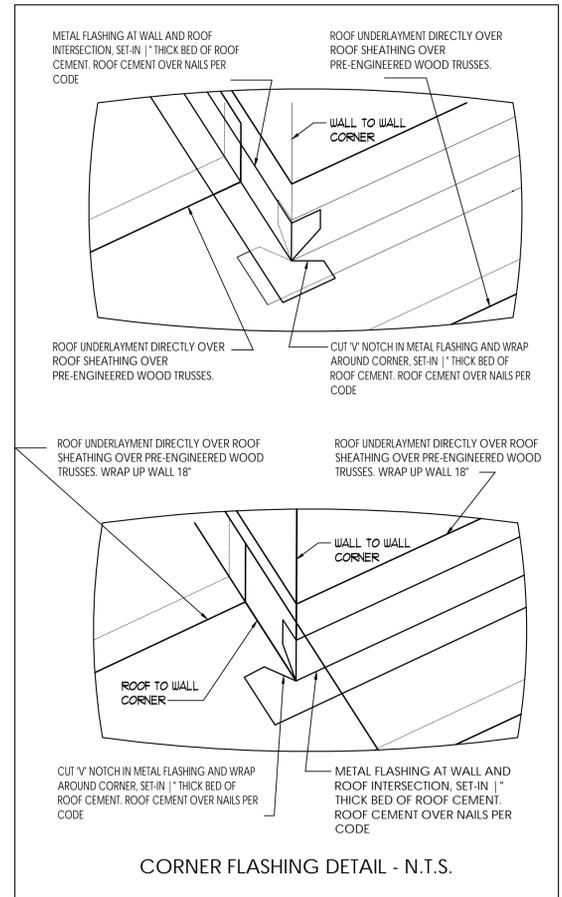
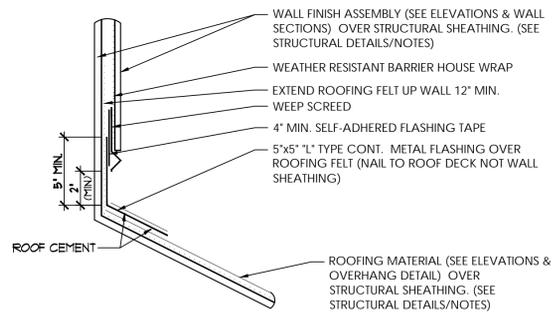
SYNTHETIC UNDERLAYMENT SHALL BE FASTENED IN ACCORDANCE W/ THIS SECTION & THE MANUFACTURER'S RECOMMENDATIONS.

FLASHING FOR ASPHALT SHINGLES SHALL COMPLY WITH FBC R903.2.4 ASPHALT SHINGLES SHALL COMPLY TO ASTM D7158-CLASS G OR H, OR ASTM D3161-CLASS F, TABLE R905.2.6.1.

ROOF SHINGLE & FLASHING INSTALLATION SPEC'S
NOT TO SCALE



ROOF PENETRATION FLASHING DETAIL - N.T.S.



ENGINEER OF RECORD:

ARKAY ENGINEERING INC.
STRUCTURAL ENGINEERS
1950 E. EDGEWOOD DRIVE LAKELAND, FLORIDA 39803
PHONE: 863-668-6500 FAX: 863-668-6957
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION # EB6347
RICHARD L. KIDDY, P.E. - FLORIDA LICENSE # 37246

THE CONSTRUCTION PLANS SHOWN HEREON ARE IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, 2023 FLORIDA BUILDING CODE 8TH EDITION FOR 140 MPH ULTIMATE DESIGN WIND SPEED (RISK CATEGORY II) ALONG WITH THE ENTIRE 2023 FLORIDA BUILDING CODE, RESIDENTIAL 8TH EDITION.

FLASHING DETAILS

DATE: 5-9-24
SCALE: AS NOTED
JOB # FBC2023-140

SHEET
F
PERMIT SET

LDLVAR-2026-4 - ADU Revision

Menu Reports Help

Application Name: [ADU Revision](#)

File Date: [01/13/2026](#)

Application Type: [LUHO - Variance](#)

Application Status: [Approved For Hearing](#)

Application Comments:

View ID	Comment	Date
---------	---------	------

Description of Work: [The proposed project consists of the construction of a detached Accessory Dwelling Unit \(ADU\) on an existing residentially zoned property that is currently developed with single-family residence.](#)

Application Detail: [Detail](#)

Address: [6935 INDIAN CREEK PARK DR, LAKELAND, FL 33813](#)

Parcel No: [242920286556000010](#)

Owner Name: [GINEVRA.ANTHONY VINCENT](#)

Contact Info:	Name	Organization Name	Contact Type	Contact Primary Address	Status
	Megan Ray	Hulbert Homes	Engineer	Mailing, PO Box 6254 F...	Active

Licensed Professionals Info:	Primary	License Number	License Type	Name	Business Name	Business License #

Job Value: [\\$0.00](#)

Total Fee Assessed: [\\$541.00](#)

Total Fee Invoiced: [\\$541.00](#)

Balance: [\\$0.00](#)

Custom Fields: **LD_GEN_BOA**

GENERAL INFORMATION

Expedited Review

Number of Lots

-

Will This Project Be Phased

Acreage

[0.70](#)

DRC Meeting Time

DRC Meeting

[02/12/2026](#)

Rescheduled DRC Meeting

Rescheduled DRC Meeting Time

-

Green Swamp

Number of Units

[No](#)

-

Case File Number

Is this Polk County Utilities

-

One Year Extension

FS 119 Status

[Non-Exempt](#)

-

PUBLIC HEARINGS

Development Type

Application Type

[Land Use Hearing](#)

[Variance](#)

[Officer](#)

Variance Type

Brownfields Request

[Accessory](#)

-

[Larger than](#)

[Principle](#)

[Affordable Housing](#)

ADVERTISING

Advertising Board

Legal Advertising Date

[Land Use Hearing](#)

-

[Officer](#)

MEETING DATES

LUHO Hearing Date

[03/26/2026](#)

ALCOHOL BEVERAGE DIST REQ

COMMUNICATION TOWER

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?
The requested variance will not be injurious to the surrounding area nor detrimental to the public welfare. The proposed Accessory Dwelling Unit (ADU) is designed to be architecturally consistent with the primary residence and neighboring properties, maintaining the established character of the neighborhood. The ADU will comply with all applicable building, fire, life-safety, and zoning requirements aside from the requested size variance.

What special conditions exist that are peculiar to the land, structure, or building involved?
The property presents unique conditions related to lot size, configuration, and existing development, which allow the ADU to be constructed in a manner that remains visually and functionally compatible with surrounding homes despite exceeding the 1,000 sq ft threshold.

Additionally, the size of the ADU is driven by practical design constraints, including compliance with setback requirements, placement of existing structures, and the need to provide a functional and code-compliant living space. The request is not based on personal preference, but rather on the physical characteristics of the property and the intent to develop the site responsibly.

When did you buy the property and when was the structure built? Permit Number?
The property was purchased in 2018. The primary residence was constructed in 2019 under Permit Number BR-2018-6983, in compliance with all applicable codes and regulations at the time of construction.

What is the hardship if the variance is not approved?
If the variance is not approved, the property owner would experience unnecessary and undue hardship, as strict adherence to the 1,000 sq ft limitation would prevent the reasonable use of the property for an ADU as intended.

Without the variance, the ADU would require significant redesign that could compromise functionality, accessibility, and livability, or result in a structure that does not adequately meet the intended residential needs. This hardship is not self-created, but rather a result of zoning limitations applied to the existing conditions of the property.

Is this the minimum variance required for the reasonable use of the land?
Yes. The proposed ADU size represents the minimum variance necessary to allow reasonable use of the property. The design has been carefully evaluated to ensure the ADU remains subordinate to the primary residence while providing adequate living space. Any further reduction in size would negatively impact the functionality of the dwelling and defeat the purpose of the ADU.

Do you have Homeowners Association approval for this request?
Yes. The Homeowners Association has reviewed and approved the proposed ADU and the requested variance. Documentation is attached.

LD_GEN_BOA_EDL

[Opening DigEplan List...](#)

DigEplan Document List

-

PLAN REVIEW FIELDS

TMPRecordID
[POLKCO-26EST-00000-01848](#)
 RequiredDocumentTypesComplete
[Yes](#)

DocumentGroupforDPC
[DIGITAL PROJECTS LD](#)
 AdditionalDocumentTypes
[Applications, AutoCad File, Binding, Site Plans \(PDs and CUs\), CSV, Calculations, Correspondence, Design Drawings, Flood/Traffic Studies, Impact Statement, Inspections, Miscellaneous, Plats, Record Drawings, Response Letter Resubmittal Complete, Staff Report/Approval Letter, Survey, Title Opinion](#)
 DigitalSigCheck
[Yes](#)

RequiredDocumentTypes
 -
 Activate DPC

Activate FSA
[Yes](#)

PLAN UPLOAD ACKNOWLEDGEMENT

Upload Plans Acknowledgement
[y](#)

LAND USE

Selected Area Plan LU Code

NOR

Neighborhood Organization Registry (NOR)

PUBLIC MAILERS

Posting Board	Number of Boards (Number)	Number of Mailers (Number)	Date Mailed	Date Posted	NOR
LUHO	2	19	03/11/2026	03/11/2026	

Workflow Status:	Task	Assigned To	Status	Status Date	Action By
	Application Submittal	Saralis Wons	Application ...	01/14/2026	Lisa Simons-Iri...
	Roads and Drainage Review	Phil Irven	Approve	01/20/2026	Phil Irven
	Planning Review	Aleya Inglima	Approve	01/26/2026	Aleya Inglima
	Review Consolidation		Approved for...	02/25/2026	Saralis Wons
	Public Notice				
	Hearing Officer				
	Final Order				
	Archive				

Condition Status:	Name	Short Comments	Status	Apply Date	Severity	Action By
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Scheduled/Pending Inspections:	Inspection Type	Scheduled Date	Inspector	Status	Comments
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Resulted Inspections:	Inspection Type	Inspection Date	Inspector	Status	Comments
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Polk County
Polk County Land Use Hearing Officer

Agenda Item 5

3/26/2026

SUBJECT

LDLVAR-2026-13 (Rural Fire Service Connection)

DESCRIPTION

Polk County is requesting a right-of-way, side, and rear yard setback reduction from 50, 15, and 20 feet to zero (0) feet for a carport structure on ±0.009 acres (411 sq.ft.) in an Agricultural/Residential Rural (A/RRX) in the Polk City Special Protection Area of the Green Swamp Area of Critical State Concern. The site is located at 17240 Commonwealth Avenue (State Road 33), northwest corner of State Road 33 and Bloomer Road, South of Hacienda Trail, north of Poyner Road, north of Polk City, in Section 17, Township 25, Range 25.

RECOMMENDATION

Approval

FISCAL IMPACT

No fiscal impact.

CONTACT INFORMATION

Erik Peterson, AICP
Planning Administrator
Land Development Division
(863) 534-6470
erikpeterson@polkfl.gov <mailto:erikpeterson@polkfl.gov>

**POLK COUNTY
LAND USE HEARING OFFICER
STAFF REPORT**

DRC Date	February 12, 2026	CASE #:	LDLVAR-2026-13 (Rural Fire Service Connection)
LUHO Date	March 26, 2026	LDC Section:	208, Table 2.1

Project Number: LDLVAR-2026-13

Request: The applicant is requesting a right-of-way, side, and rear yard setback reduction from 50, 15, and 20 feet to zero (0) feet for a carport structure.

Applicant: Polk County

Property Owner: Polk County

Location: 17240 Commonwealth Avenue (State Road 33), northwest corner of State Road 33 and Bloomer Road, South of Hacienda Trail, north of Poyner Road, north of Polk City, in Section 17, Township 25, Range 25.

Parcel ID#: 252517-000000-034090

Size: ±0.009 acres (411 sq.ft.)

Land Use Designation: Agricultural/Residential Rural (A/RRX)
Polk City Special Protection Area
Green Swamp Area of Critical State Concern

Development Area: Rural Development Area (RDA)

Case Planner: Erik Peterson, AICP
Planning Administrator

Summary:

Polk County Utilities have installed fire service wells throughout the rural areas of the County to enhance firefighters' ability to contain fires in sparsely populated areas where there are no central water sources and hydrants available. These facilities have electric and mechanical equipment that can be better maintained if protected from the elements. And it is essential that these facilities be located in close proximity to rights-of-way so that fire vehicles can access them quickly and efficiently. This results in the need for a protective structure (carport) located within the right-of-way setbacks, especially on major roads where the setbacks are much higher. Additionally, the sites are small. Typically, 20'x20' which is just enough to contain the equipment. Therefore, the County is requesting a setback of zero feet on all property lines to accommodate the placement of this structure at this location.

This structure is needed for public safety and will be located such that it is not harmful to the general public. The site is at the corner of a driveway serving only four dwellings where it will not affect visibility and a state highway that is more than needed right-of-way. The property is small because the County did not want to take any more property than necessary for the public function. This land is in the Green Swamp Area of Critical State Concern. There are restrictions on property size for residential purposes. Taking more land would have made the parent parcel less conforming to density standards.

Staff find that the request meets the following criteria listed in Section 931:

- The request is **in accordance with the general intent and purpose of this Code and will not be injurious to the area involved or otherwise detrimental to the public welfare** because the location is most effective and efficient for its purposes with minimal threats to public safety.
- **Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district** because the site is intentionally small to minimize cost to the taxpayers and not jeopardize the integrity of the parent parcel from which it was taken. This cover is needed to protect equipment which minimizes maintenance and operational costs.
- **Granting the requested variance will not confer on the applicant any special privilege** because no other property in the community provides fire safety functions.

Development Review Committee

The Development Review Committee, based on the criteria for granting Variances, finds that the applicant's request as written **IS CONSISTENT** with **Section 931** of the Polk County Land Development Code.

Development Review Committee Recommendation: Based upon the application, and a recent site visit, the Development Review Committee recommends **APPROVAL of LDLVAR-2026-13**, with the following conditions:

CONDITIONS OF APPROVAL:

1. A variance to the standards in Section 208, Table 2.1 of the Land Development Code (LDC) shall be granted for a right-of-way, side, and rear yard setback reduction from 50, 15, and 20 feet to zero (0) feet for a carport structure.
2. The applicant must apply for all necessary permits within one (1) year of the date for which the Land Use Hearing Officer's Final Order is rendered.
3. The carport structure shall be removed or relocated within the applicable setbacks when this property ceases being used for fire rescue purposes.
4. This variance does not authorize any encroachments into easements, and the applicant shall be responsible for making certain there are no encroachments unless approval is granted by the easement holder and/or any applicable permitting agencies. The property owner(s)

is also responsible for compliance with any restrictions of record pertaining to lots and/or land and this approval shall not be used to supersede authority over those restrictions.

GENERAL NOTES

NOTE: This staff report was prepared without the benefit of testimony and evidence submitted by the public and other parties at a public hearing.

NOTE: Approval of this variance shall not constitute a waiver or an additional variance from any applicable development regulation unless specifically noted in the conditions of approval and consistent with LDC Section 930D.

NOTE: All conditions of approval, unless otherwise specified, shall be met prior to the effectiveness and validity of the variance approval.

NOTE: All written commitments made in the application and subsequent submission of information made during the application review process, which are on file with the Land Development Division, shall be considered to be binding upon the applicant, provided such commitments are not at variance with the Comprehensive Plan, LDC or other development regulations in effect at the time of development.

NOTE: Issuance of a development permit by the county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

DEMONSTRATIONS OF THE CRITERIA FOR GRANTING VARIANCES SUMMARIZED BELOW:

- 1. Whether granting the variance will be in accordance with the general intent and purpose of this Code, and that the variance will not be injurious to the area involved or otherwise detrimental to the public welfare;*

The intended purpose of this structure is to promote public safety. This fire service apparatus to be served by this protective cover structure requested consists of a well, high service pump, and electrical equipment that enables the well and pump to be monitored and controlled remotely. The fire service system provides firefighters in rural areas the ability to refill the water tanks in fire protection vehicles a closer location than finding a public fire hydrant or having to return to the station. This property is located deep in the Green Swamp Area of Critical State Concern where development density and intensity are mandated to be low for the purpose of aquifer protection. This area will forever remain rural. This rural area is served by three County fire stations but from the periphery of the Green Swamp.

The proposed canopy is located close to an intersection of a private road and State Road 33 (Commonwealth Avenue). The structure will be located just beyond the Clear Visibility Triangle required by Section 711 of the Land Development Code. The private road serves only four dwellings. Additionally, the right-of-way width for State Road 33 is 200 feet and serves only a two-lane rural section. Such right-of-way is enough for a five-lane rural section and there are no plans for widening in the Transportation Planning Organization (TPO) 2070 Plan. Therefore, it is unlikely that this small structure will pose danger to traffic movement along the corridor. For these reasons, staff are confident that the structure placement *will not be injurious to the area involved or otherwise detrimental to the public welfare.*

2. *Whether special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the applicable land use district;*

This request is a result of special conditions and circumstances. There is no other similar structure in the County that would have the same justification for setback relief. Although the County may construct similar facilities in the future in the rural areas, it is unusual that a site so small would be chosen again. The reason for such a small site was to reduce costs to taxpayers and not take any more land than needed for infrastructure purposes. The cover is needed to protect infrastructure equipment to reduce costs of repair and maintenance.

3. *Whether provided the special conditions and circumstances present in the request do not result from the actions of the applicant;*

The County purchased just enough property to serve the intended purpose for fire protection in 1991 before the adoption of the Comprehensive Plan for two reasons. One, to minimize the cost to taxpayers. At the time, the intended use was a well that a pumper truck could draft from to refill its tanks. It was recently improved with new pumps and incorporated System Control and Data Acquisition (SCADA) equipment so the well and pump apparatus can be managed remotely (See Exhibit 7). This equipment enables fire rescue vehicle water tanks to be refilled quicker. This new equipment is not as tolerant to the weather as the earlier system.

Second, to prevent the parent parcel from becoming smaller. Within a few months of the 1991 purchase, the County would change the development density in this portion of the Green Swamp from one (1) unit per acre to one unit per five (5) acres. Three years later, the County would lower the density to one unit per ten acres as it is today. This is why it would be inappropriate to purchase more property from the abutting owner because it would increase the non-conformity and prevent any further permitting.

4. *Whether granting the requested variance will not confer on the applicant any special privilege that is denied by the provisions of this Code and will constitute unnecessary and undue hardship on the applicant;*

This is a rare and unusual request by the applicant. There are only a few locations in the County for these rural fire service connections. Only governments need a site like this. It is strictly for public safety and protection of public infrastructure.

5. *Whether the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure;*

The County purchased just enough property to locate the rural fire service connection. This canopy will cover the equipment and possibly just enough area to protect the firefighter while connecting the intake hose to the hydrant. The property is 20 feet by 20 feet, and the proposed cover is 16 feet by 20 feet.

6. *Whether that in no case shall a variance be granted which will result in a change of land use that would not be permitted in the applicable land use designation;*

Granting this variance will not result in a change of land use. The rural fire service is a permitted Class II Utility. The request is for a canopy structure to protect the equipment.

7. *Whether that in no case shall the Land Use Hearing Officer or the Planning Commission grant a variance which would result in creation of any residual lot or parcel which does not meet the requirements of this Code; and*

Granting this request will not result in the creation of a lot or parcel that does not meet the requirements of the Code. This variance request will not change the size, shape or use of the property. The property is small, but it was not created for a residential purpose.

8. *Whether that the granting of the variance does not circumvent a condition or the intent of a condition placed on a development by the Planning Commission or the BoCC.*

The equipment onsite is considered a Class II Utility. These are approved through administrative review. There are no conditions placed on a site by the Planning Commission or the BoCC.

Surrounding Future Land Use Designations and Existing Land Use Activity:

The table to follow provides details of abutting structures and lot parameters.

Table 1

<p>Northwest: A/RRX mobile home on a ±2-acre lot</p>	<p>North: A/RRX 2,560 square foot single-family dwelling on a ±5-acre lot</p>	<p>Northeast: A/RRX mobile home on a ±4.9-acre lot</p>
<p>West: A/RRX Total of 3 mobile homes on north side of Bloomer Road private easement</p>	<p>Subject Property: Agricultural/Residential Rural (A/RRX) Well, Pump, remote controlled electrical equipment, fire hydrant on a ±0.009-acre (411 sq.ft.) lot</p>	<p>East: A/RRX mobile home on a ±9.8-acre lot</p>
<p>Southwest: A/RRX 4,258 square foot single-family dwelling on a ±9-acre lot</p>	<p>South: A/RRX mobile home on a ±2-acre lot</p>	<p>Southeast: A/RRX 2,531 square foot single-family dwelling on a ±9.8-acre lot</p>

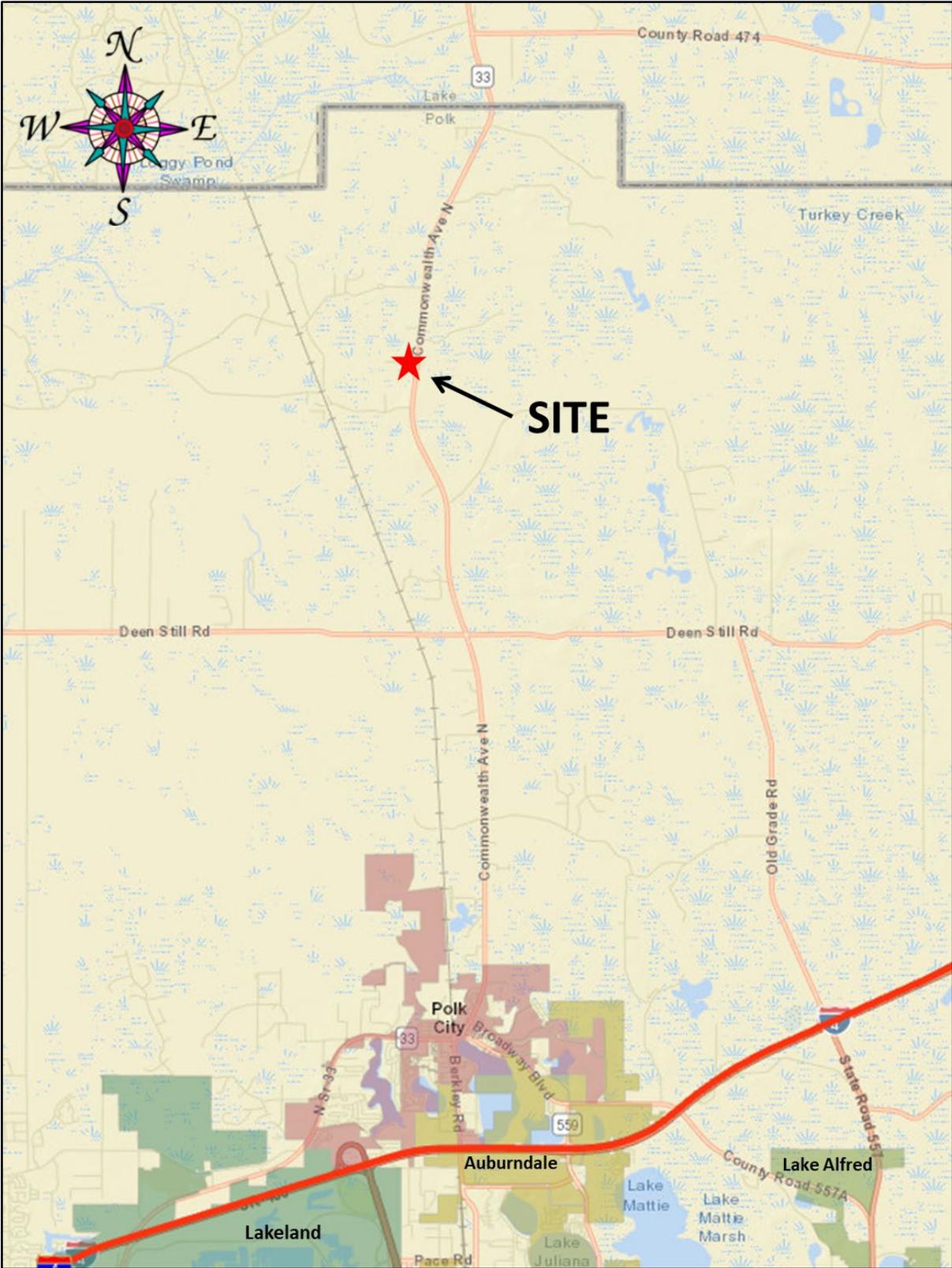
This small site is located at the corner of Commonwealth Avenue and Bloomer Road is uniquely placed relative to the rural area served by Polk County’s Fire Rescue stations. The Green Swamp Area of Critical State Concern is served by three stations: Providence Station 6 in north Lakeland, Station 7 in Polk City, and Station 33 near US 27 north of I-4. The site is just under four miles from the intersection of Dean Still Road (an east-west connection between U.S. 27 and U.S. 98) and Commonwealth Avenue (a north-south minor arterial road) which is the center of the Green Swamp. This facility is one of the only sources of water in the entire area. It provides pumper trucks and water trucks with the ability to refill when fighting fires in this vast rural area. It is especially beneficial in the event of wildfires. It will only be utilized during emergencies. The well system is controlled and monitored remotely by Polk County Utilities through its System Control and Data Acquisition (SCADA) network. This sensitive equipment needs protection from the elements. A carport-like structure is needed to accomplish that.

Comments from other Governmental Agencies:

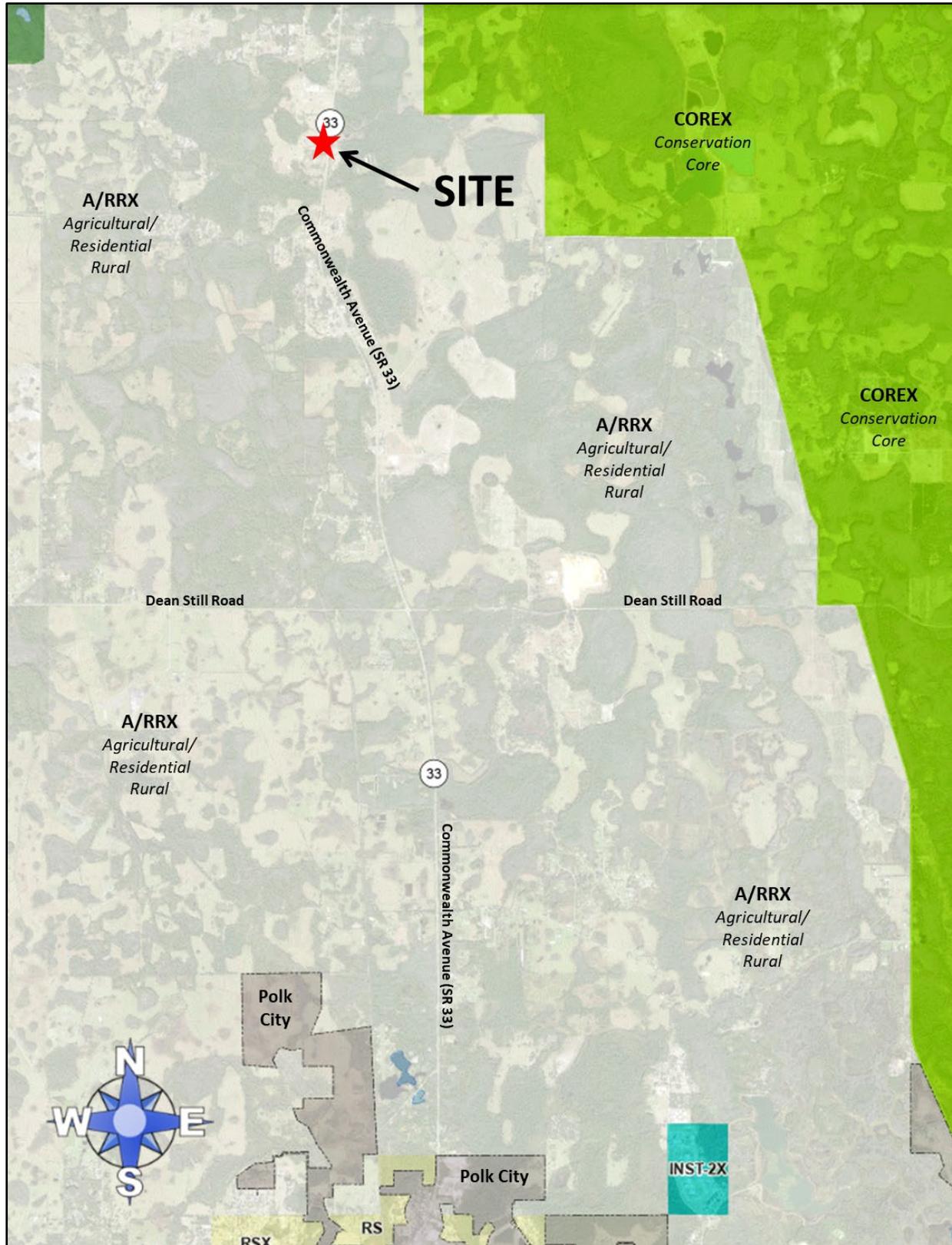
None.

Exhibits:

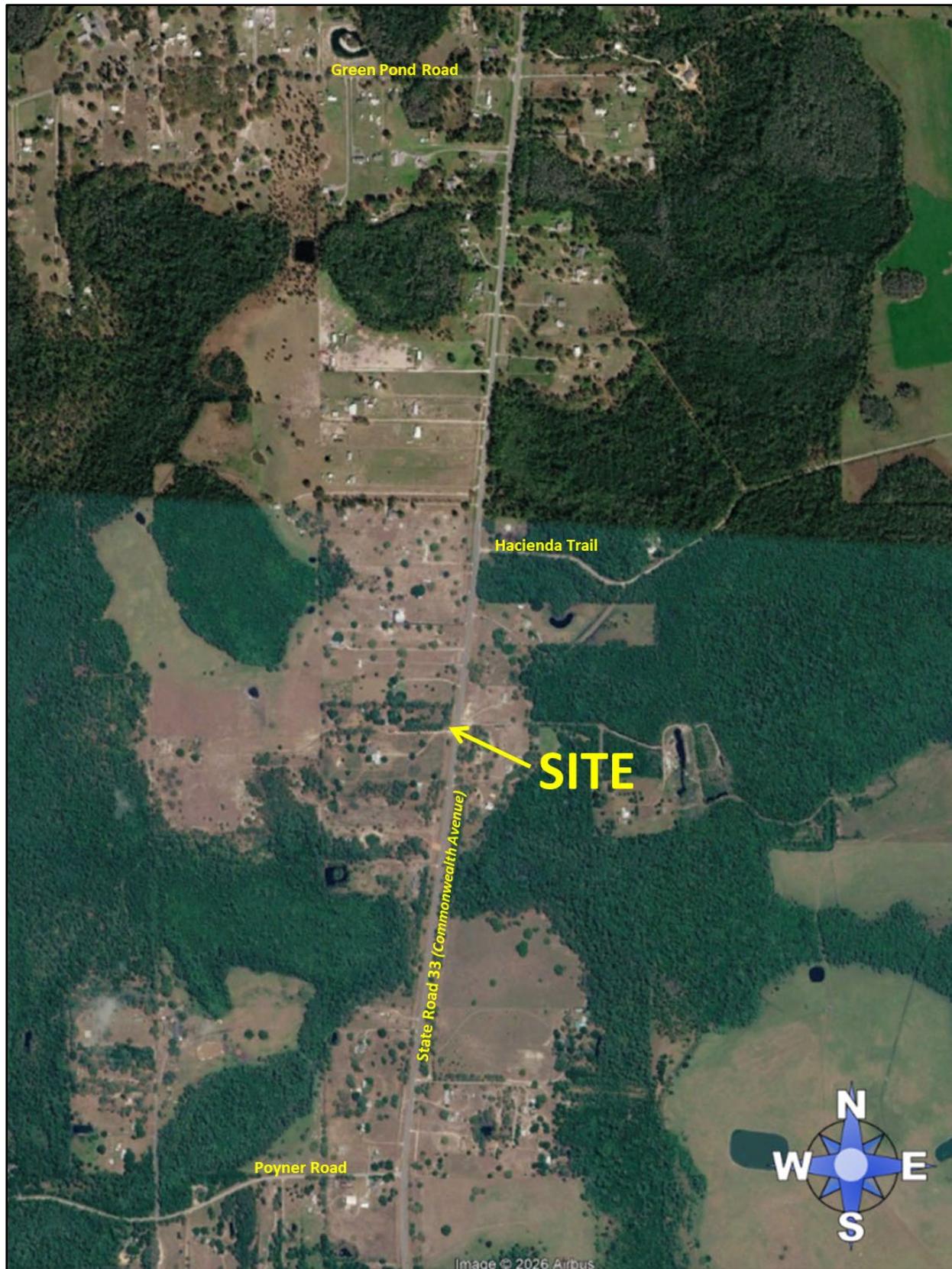
- Exhibit 1 – Location Map
- Exhibit 2 – Future Land Use
- Exhibit 3 – 2025 Satellite Context
- Exhibit 4 – 2023 Aerial Close-up
- Exhibit 5 – Site Plan
- Exhibit 6 – Criteria Justification
- Exhibit 7 – Well, Pump, and SCADA Equipment



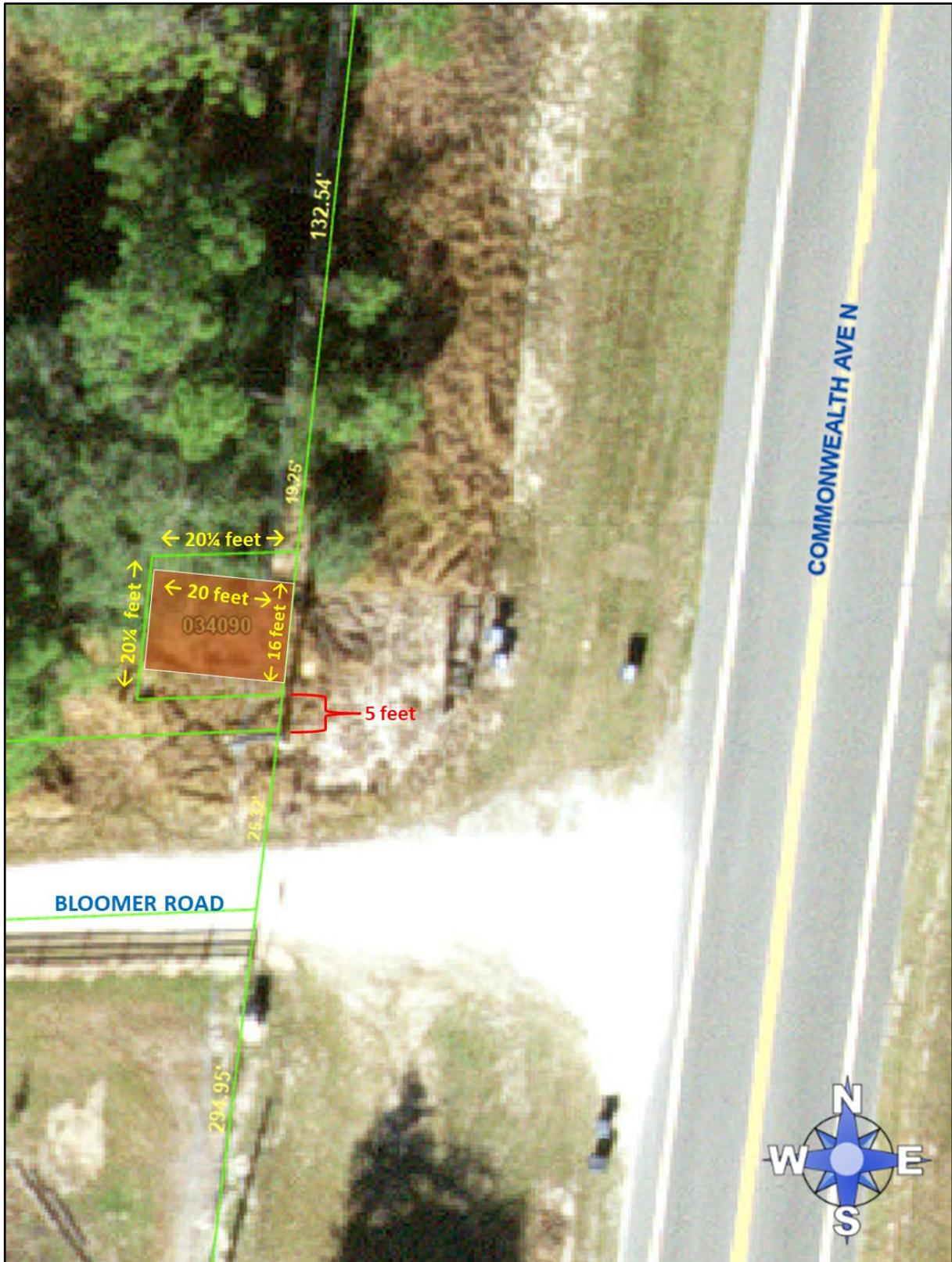
Location Map



Future Land Use



2025 Satellite Photo Context



2023 Aerial Photo Close-Up

CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?

No, this infrastructure is intended to enhance public safety in the area. Additionally, the right-of-way is very wide (200 feet) for a two-lane facility which typically requires 80 feet.

What special conditions exist that are peculiar to the land, structure, or building involved?

The land is just over 400 square feet because it is just a well, pumps, and hydrant.

When did you buy the property and when was the structure built? Permit Number?

Property purchased February 20, 1991. Fire service, hydrant, and pumps January 29, 2024, under BT-2024-1544

What is the hardship if the variance is not approved?

Higher maintenance costs. Increased cost to taxpayers. Greater possibility of system failure if service isn't properly maintained. If it doesn't work when needed, there could be loss of life or property damage.

Is this the minimum variance required for the reasonable use of the land?

Yes.

Do you have Homeowners Association approval for this request?

No.

Applicant's Justification



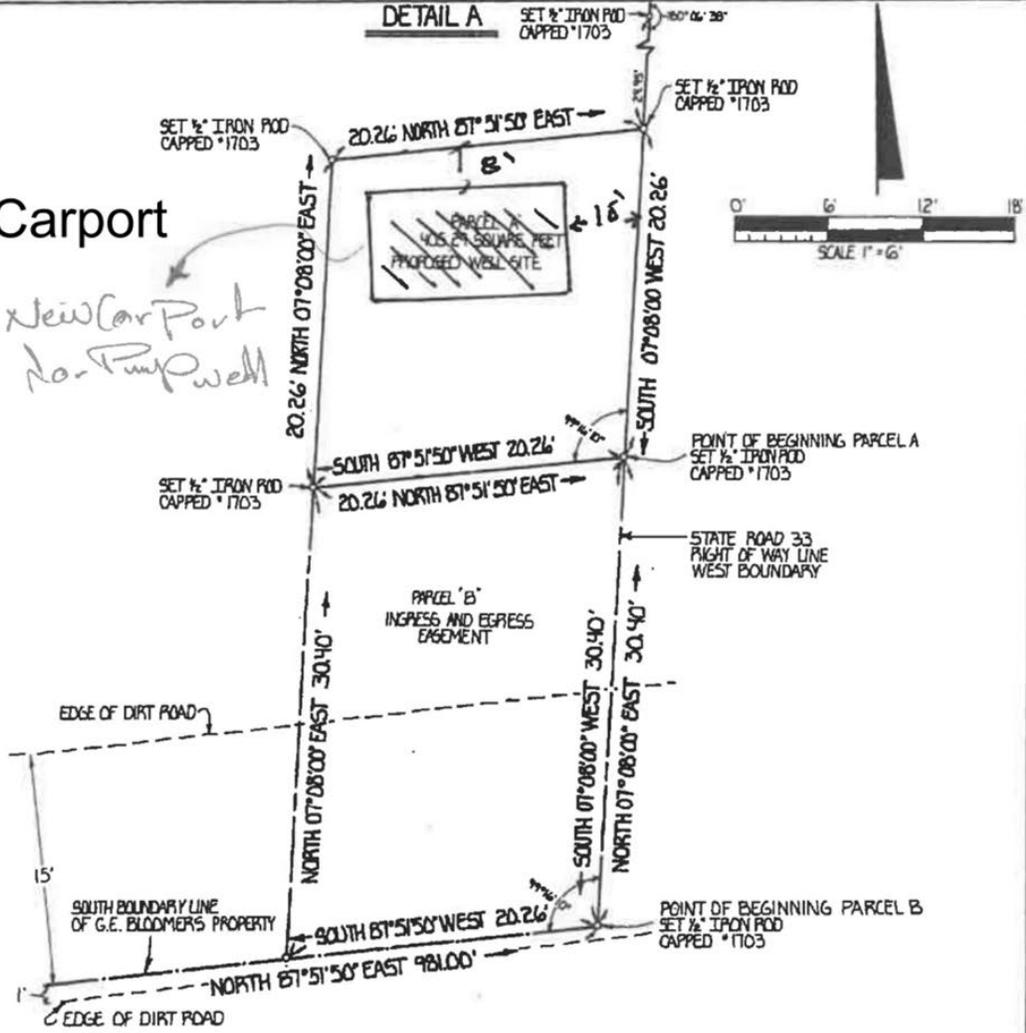
Well, Pump, and SCADA Equipment

Polk County Utilities have installed fire service wells throughout the rural areas of the County to enhance firefighters' ability to contain fires in sparsely populated areas where there are no central water sources and hydrants available. These facilities have electric and mechanical equipment that can be better maintained if protected from the elements. And it is essential that these facilities be located in close proximity to rights-of-way so that fire vehicles can access them quickly and efficiently. This results in the protective structure (carport) locating within the right-of-way setbacks, especially on major roads where the setbacks are much higher. Additionally, the sites are small. Typically, 20'x20' which is just enough to contain the equipment. Therefore, the County is requesting a setback of zero feet on all property lines to accommodate the placement of this structure at this location.

DETAIL A

16x20 Carport

New Carport
No Pump Well



CRITERIA FOR GRANTING VARIANCE

Will the variance be injurious to the area involved or detrimental to the public welfare?

No, this infrastructure is intended to enhance public safety in the area. Additionally, the right-of-way is very wide (200 feet) for a two-lane facility which typically requires 80 feet.

What special conditions exist that are peculiar to the land, structure, or building involved?

The land is just over 400 square feet because it is just a well, pumps, and hydrant.

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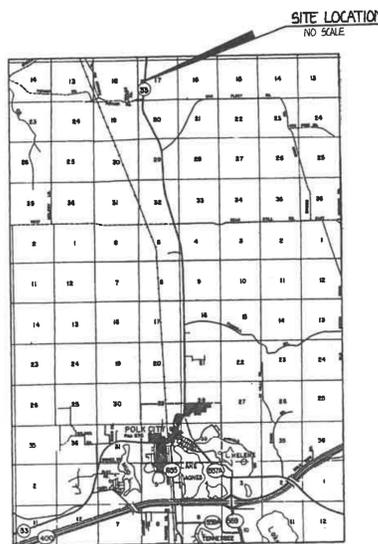
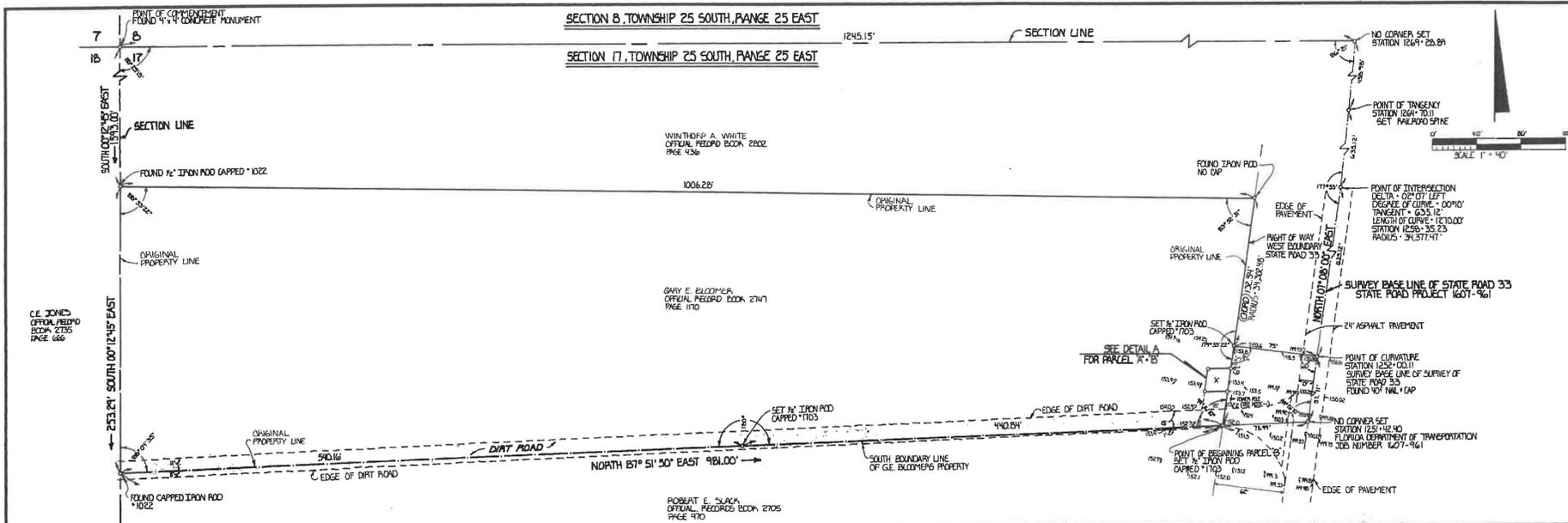
Higher maintenance costs. Increased cost to taxpayers. Greater possibility of system failure if service isn't properly maintained. If it doesn't work when needed, there could be loss of life or property damage.

Is this the minimum variance required for the reasonable use of the land?

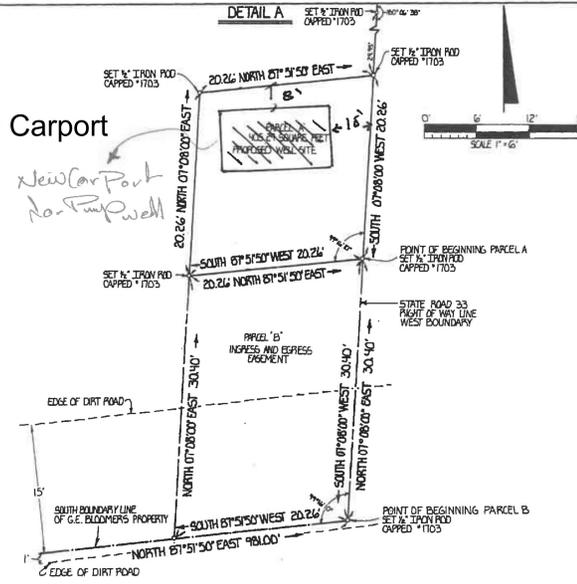
Yes.

Do you have Homeowners Association approval for this request?

No.



16x20 Carport



DEED DESCRIPTION

PARCEL A

Commence at the Northwest corner of Section 17, Township 25 South, Range 25 East; Thence South 1593 feet along the West line of said Section 17; Thence continue South along said West line for 253.28 feet to the Southwest corner of Gary Bloomer Property; Thence easterly along the south line of Bloomer property to the intersection with the West Right-of-Way of State Road 33; Thence Northerly along the West Right-of-Way 30.40 feet to the Point of Beginning; Thence Westerly and parallel to the South line of Bloomer property, 20.26 feet; Thence Northerly and parallel to the West Right-of-Way line of State Road 33 for 20.26 feet; Thence Easterly and parallel to the South line of Bloomer property for 20.26 feet; Thence Southwesterly along aforementioned West Right-of-Way of State Road 33 for 20.26 feet to the Point of Beginning.

More particularly known as: Commence at the Northwest corner of Section 17, Township 25 South, Range 25 East; Thence South 07°17'40" East 1593.00 feet; Thence South 07°17'40" East 253.28 feet; Thence North 87°51'50" East 881.00 feet; Thence North 07°08'00" East 30.40 feet to the Point of Beginning; Thence run South 87°51'50" West 20.26 feet; Thence run North 07°08'00" East 20.26 feet; Thence run North 87°51'50" East 20.26 feet; Thence run South 07°08'00" West 20.26 feet to the Point of Beginning.

INGRESS AND EGRESS EASEMENT DESCRIPTION

PARCEL B

Commence at the Northwest corner of Section 17, Township 25 South, Range 25 East; Thence South 1593 feet along the West line of said Section 17; Thence continue South along said West line for 853.28 feet to the Southwest corner of Gary Bloomer property; Thence Easterly along the South line of Bloomer property to the intersection with the West Right-of-Way of State Road 33 being the Point of Beginning; Thence Westerly along same South property line for 20.26 feet; Thence Northerly and parallel to the West Right-of-Way of State Road 33 for 30.40 feet; Thence Easterly and parallel to the South line of Bloomer property for 20.26 feet to the West Right-of-Way of State Road 33; Thence Southwesterly along said Right-of-Way of State Road 33 for 30.40 feet to the Point of Beginning. The purpose of this description is solely for ingress and egress to the preceding description.

NOTES:

- PARCEL A IS THE PROPOSED WELL SITE.
- SOUTH BOUNDARY AS DETERMINED FROM SURVEY PERFORMED BY FLORIDA LICENSED SURVEYOR *1022 FOR E.E. BLOOMER.
- ALL ANGLES AND DISTANCES AS FOUND IN FIELD.
- STATE ROAD 33 INFORMATION FROM FLORIDA DEPARTMENT OF TRANSPORTATION JOB 1601-961
- ELEVATIONS SHOWN THUS 1633.10 REFER TO UNITED STATES COASTAL AND GEODETIC SURVEY DATUM
- BEACH MARK IS A MALIBU SPIKE IN A PAVEMENT 7.5 FEET LEFT OF STATION 1251+75.61
- DISTANCES BASED UPON FLORIDA STATE ROAD DEPARTMENT JOB 1601-961
- FIELD SURVEY COMPLETED ON 5-10-90.
- NO IMPROVEMENTS EXIST ON THIS PROPERTY.

CERTIFICATION

I HEREBY CERTIFY THAT THE ABOVE SKETCH OF SURVEY IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AS RECENTLY SURVEYED, MONUMENTED AND PLATTED UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, CHAPTER 219H-4, FLORIDA ADMINISTRATIVE CODE.

HENRY R. CANALIZO REGISTERED LAND SURVEYOR
FLORIDA CERTIFICATE NUMBER 1749
188 WEST MAIN STREET, BARTON, FLORIDA 33830
MAY 02, 1990

POLK COUNTY ENG. DEPT.			
WELL SITE, NORTH OF POLK CITY			
PLOTTED	G.F.S.	DATE	5-13-90
DESIGNED	M.D.G.	DATE	5-11-90
APPROVED	H.R.C.	DATE	5-13-90
DRAWN	IT	DATE	5-13-90
SECTION	17	TWP	25 S. RANG
RANGE	25	EAST	25 E.
DATE	MAY 02, 1990		
JOB	5511734-BS	SHEET	1 of 1

Instrument Prepared By:

Name: CANDICE SWEENEY

Address: PO BOX 776

STARKE, FL 32091 BLDG 1

PERMIT NUMBER: _____

STATE OF: FLORIDA

NOTICE OF COMMENCEMENT

TAX FOLIO NO.: 25-25-17-000000-034090

COUNTY OF: POLK

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. **DESCRIPTION OF PROPERTY** (Legal description of the property & street address, if available) Legal Description: 17240 COMMONWEALTH AVE N
020-LOCAL GOVT COUNTY LAND-FS196.199(1)(C)-22-30

2. **GENERAL DESCRIPTION OF IMPROVEMENT:** 16x20 open carport on ground NO MEPS

3. **OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:**

a. Name and address: POLK COUNTY PO BOX 988 BARTOW FL 33831-0988

b. Interest in property: OWNER

c. Name and address of fee simple titleholder (if different from Owner listed above): _____

4. a. **CONTRACTOR:** Name & Address JAMES PLAYER PO BOX 776 STARKE, FL 32091

b. Phone number: 352-468-1116

5. **SURETY** (if applicable, a copy of the payment bond is attached): a. Name and address: _____

b. Phone number: _____ c. Amount of bond: \$ _____

6. a. **LENDER:** Name and address: _____

b. Phone number: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

a. Name and address: _____

b. Phone numbers of designated persons: _____

8. a. In addition to himself or herself, Owner designates _____ of _____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b. Phone number of person or entity designated by Owner: _____

9. Expiration date of notice of commencement (the expiration date will be 1 year after the date of recording unless a different date is specified): _____, 20____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE SITE OF THE IMPROVEMENT BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Keith R Tate 12/3/25
(Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)

Keith R Tate - Facilities Management Director
(Print Name and Provide Signatory's Title/Office)

The foregoing instrument was acknowledged before me by means of physical presence or sworn to (or affirmed) by online notarization, this 3rd day of December, 2025 by Keith Tate (name of person)

as OWNER (type of authority, e.g. officer, trustee, attorney in fact) for Polk Co Polk (name of party on behalf of whom instrument was executed)



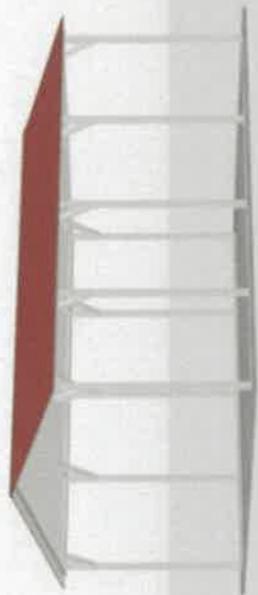
REYNA M. KASSMAN
Commission # HH 386287
Expires August 12, 2027

Reyna M Kassman
(Signature of Notary Public)
(Print, Type, or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification Type of Identification Produced _____







SPECIFICATION	QTY
16X20' (Roof 21') Vertical Roof	1
9' Height	1
180 MPH Wind Load Certification	1
3/12' Roof Pitch	1
Front Wall Certified Gable Vertical	1
Back Wall Certified Gable Vertical	1
Risk 2 Category	1
Truss Name : Standard Truss	

FBC APPROVED PRODUCT LIST

CATEGORY	SUBCATEGORY	MANUFACTURER & PRODUCT	APPROVAL NUMBER	MAX ALLOWABLE WINDSPEED (MPH)
STRUCTURAL COMPONENT	ROOF DECK	CARPORTS ANYWHERE, HAMPTON RIB ROOF PANEL	27402.1	180
STRUCTURAL COMPONENT	STRUCTURAL WALL	CARPORTS ANYWHERE, HAMPTON RIB WALL PANEL	27403.1	180
STRUCTURAL COMPONENT	STRUCTURAL WALL	CARPORTS ANYWHERE, RESI-LAP SIDING WALL PANEL	27403.2	180

POST/TRUSS MAXIMUM SPACINGS

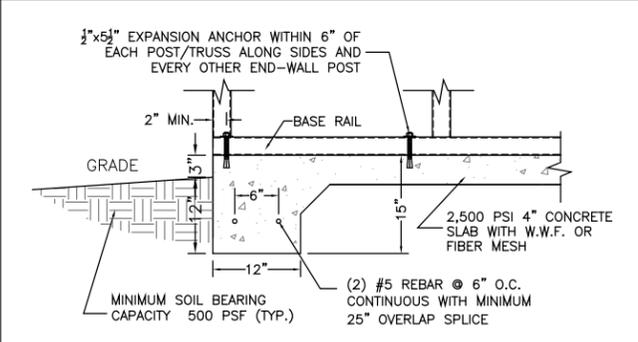
ULTIMATE WINDSPEED (MPH)	STRUCTURE WIDTH (FT)	MAXIMUM POST/TRUSS SPACING (FT)
120-150	6-24	5.0
120-150	>24-30	4.0
>150	ALL	4.0

NOTES:
 1. NOT APPLICABLE FOR STRUCTURES WITH A MEAN ROOF HEIGHT OVER 20 FEET AND/OR ROOF PITCH STEEPER THAN 6:12
 2. APPLICABLE ONLY FOR ANY MATERIALS LISTED ON THE APPROVED PRODUCTS CHART AND FRAMING INDICATED IN THE GENERAL NOTES AND DETAILS
 3. 5' O.C. REQUIRES VERTICAL ROOF.

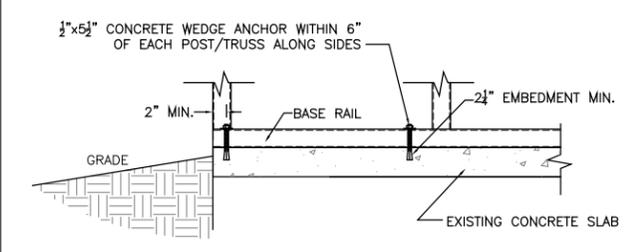
GROUND ANCHOR LENGTH

(ALL BUILDING WIDTHS ≤ 30')

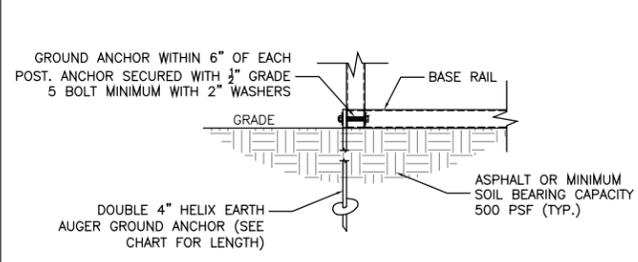
SOIL TYPE	≤ 140	145-155	160-170	175-180
VERY DENSE AND/OR CEMENTED SAND, COARSE GRAVEL, COBBLES, PRELOADED SILTS, CLAYS AND CORAL	30"	30"	48"	48"
MEDIUM DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILTS AND CLAYS	30"	48"	48"	60"
LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS, SILTS AND ALLUVIAL FILL	48"	48"	60"	60"
LOOSE SANDS, FIRM CLAYS, SILTS AND ALLUVIAL FILL	48"	60"	60"	60"



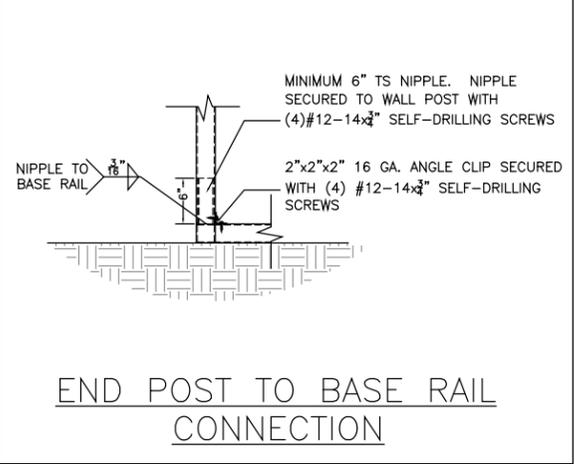
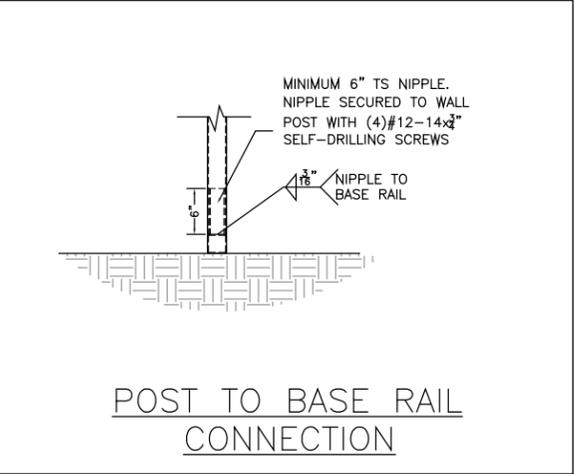
CONCRETE FOUNDATION/BASE RAIL ANCHOR DETAIL



CONCRETE FOUNDATION/BASE RAIL ANCHOR DETAIL



GROUND ANCHOR BASE RAIL DETAIL



NOTES:
SUB-GRADE SOILS:
 -TO BE TERMITE TREATED PER SECTION 1816
 -ANY FILL DIRT COMPACTED TO MINIMUM 95%
CONCRETE:
 -MINIMUM 2,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS
 -ALL OPEN AREAS OF CONCRETE OUTSIDE OF THE PROPOSED STRUCTURE SHALL BE DESIGNED TO SLOPE AWAY FROM THE STRUCTURE
REINFORCING STEEL (REBAR) REQUIREMENTS:
 -MINIMUM GRADE 40 STEEL
 -REBAR MAY BE BENT IN SHOP OR FIELD PROVIDED:
 -THE REBAR IS BENT COLD
 -THE DIAMETER OF THE BEND MEASURED ON THE INSIDE DOES NOT EXCEED 6-BAR DIAMETERS; AND
 -REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT EXCEPT IN CASES WHERE DOWELS NEED TO BE BENT TO ALIGN WITH A VERTICAL CELL. THESE REBAR MAY BE BENT NOT TO EXCEED TO SLOPE OF 1" HORIZONTALLY TO 6" VERTICALLY.
 -COVER:
 -3" COVER MINIMUM WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH SOIL OR WEATHER, AND 1 1/2" ELSEWHERE. REBAR EMBEDDED IN GROUTED CELLS SHALL HAVE A MINIMUM CLEAR DISTANCE OF 1/4" FOR FINE GROUT, AND 3/8" FOR COARSE GROUT BETWEEN REBAR AND ANY FACE OF A CELL. REBAR USED IN MASONRY WALLS SHALL HAVE A MASONRY COVER (INCLUDING GROUT) OF NOT LESS THAN 2" FOR MASONRY UNITS WITH FACE EXPOSED TO EARTH OR WEATHER, AND 1 1/2" FOR MASONRY UNITS NOT EXPOSED TO EARTH OR WEATHER.
GALVANIZATION:
 -METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT DIRECTLY EXPOSED TO WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS, AND NAILS EXPOSED DIRECTLY TO WEATHER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

THESE PLANS PERTAIN ONLY TO THE STRUCTURE, INCLUDING MAIN WIND FORCE RESISTING SYSTEM, COMPONENTS AND CLADDING, AND BASE RAIL ANCHORAGE. OTHER DESIGN ISSUES, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, INGRESS/EGRESS, PROPERTY SET-BACKS, FINISH FLOOR ELEVATION AND SLOPE, OR OTHER LOCAL ZONING REQUIREMENTS ARE THE RESPONSIBILITY OF OTHERS.
 THESE STRUCTURES ARE DESIGNED AS NON-HABITABLE UTILITY/STORAGE BUILDINGS (RISK CATEGORY I) CAPABLE OF SUPPORTING DEAD LOAD OF THE STRUCTURE AND APPLICABLE LIVE AND WIND LOADS. IMPROVEMENTS NOT SPECIFICALLY ADDRESSED HEREIN, INCLUDING DOORS, WINDOWS, OR OTHER COMPONENTS NOT LISTED IN THE FBC APPROVED PRODUCTS LIST (THIS SHEET), AND NOT PROVIDED AND INSTALLED BY THE MANUFACTURER WHICH EXERT ADDITIONAL LOADS ON THE STRUCTURE SHALL BE AT THE OWNER'S RISK. CARPORTS ANYWHERE NOR THE ENGINEERING DESIGN SHALL NOT BE RESPONSIBLE FOR STRUCTURAL DAMAGE OR FAILURE DUE TO THE APPLICATION OF ADDITIONAL LOADS.
 BASE RAIL GROUND ANCHOR REQUIREMENTS: ONE WITHIN 6" OF EVERY POST LOCATION, AND BOTH SIDES OF OPENINGS WHERE BASE RAIL IS ABSENT. GROUND ANCHORS ARE NOT REQUIRED FOR CONCRETE FOOTING AND/OR CONCRETE SLAB CONSTRUCTION. SEE GROUND ANCHOR SCHEDULE (THIS SHEET) FOR SPECIFIC TYPE GROUND ANCHOR REQUIREMENTS.
 ANY FILL DIRT NEEDED FOR THE FOUNDATION IS TO BE COMPACTED TO 95%.

CODE INFORMATION

CODE VERSION	FBC 2023 8th Edition, ASCE-7-22
MANUFACTURER	CARPORTS ANYWHERE
BUILDING TYPE	UTILITY STRUCTURE
CONSTRUCTION TYPE	II-B
RISK CATEGORY	1
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY U
BASIC WIND SPEED	V _{ult} :120-160mph
EXPOSURE	B/C
ENCLOSURE	OPEN
INTERNAL PRESSURE COEFFICIENT	+/- 0.0
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lb P.L.
FLOOR DEAD LOAD	10PSF
FLOOR LIVE LOAD	50PSF
"R" RATING OF WALLS, FLOOR, ROOF	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	

REVISIONS

REV	DESCRIPTION	DATE	BY
1	NO FOOTER	5/20/20	MTB
2	HEADER SPLICE, FILL COMPACTION	8/16/22	MTB
3	PRODUCT #'s, NOTES	1/30/23	MTB
4	FOOTER HEIGHT	2/23/23	MTB
4	2023 FBC	12/19/23	MTB

Drawn By: MTB
 Date: 5/27/20
 Location: FLORIDA
 OPEN GENERIC ENGINEERING

GENERAL NOTES
 1. THIS BUILDING IS EXEMPT FROM THE FBC ENERGY CONSERVATION CODE PER SECTION C101.4.2.
 2. ALL STEEL TUBING SHALL BE 50 KSI STEEL.
 3. PLUMBING, ELECTRICAL, INGRESS/EGRESS, PROPERTY SET-BACKS, AND/OR OTHER LOCAL CODE REQUIREMENTS ARE THE RESPONSIBILITY OF THE OWNER.
 4. FIELD FRAMING CONNECTIONS SECURED WITH #12-14x3/4" SELF-DRILLING SCREWS.
 5. ALL SHOP FRAMING CONNECTIONS ARE TO BE WELDED. NO WELDING ONSITE. ALL WELDING DONE IN SHOP BY A CERTIFIED WELDER.
 6. CONCRETE EXPANSIONS ANCHORS ARE TO BE MINIMUM 1/2"x5.5", 2,500LB TENSILE STRENGTH.
 7. 14GA. FRAMING IS 2.5"x2.5" TUBE STEEL. NIPPLES ARE 2.25"x2.25" TUBE STEEL. 12GA. FRAMING IS 2.25"x2.25" TUBE STEEL. NIPPLES ARE 2.0"x2.0" TUBE STEEL.

PRODUCTS, ANCHORING, SPACING & CONCRETE DETAILS

Matthew T. Baldwin P.E.
 Florida License #64608

Sheet: CA-1 OF 3

CODE INFORMATION

CODE VERSION	FBC 2023 8th Edition, ASCE-7-22
MANUFACTURER	CARPORTS ANYWHERE
BUILDING TYPE	UTILITY STRUCTURE
CONSTRUCTION TYPE	II-B
RISK CATEGORY	1
FIRE PROTECTION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	UTILITY U
BASIC WIND SPEED	V _{ult} :120-160mph
EXPOSURE	B/C
ENCLOSURE	OPEN
INTERNAL PRESSURE COEFFICIENT	+/- 0.0
IMPORTANCE FACTOR	1.0
ROOF DEAD LOAD	10PSF
ROOF LIVE LOAD	20PSF OR 300lb P.L.
FLOOR DEAD LOAD	10PSF
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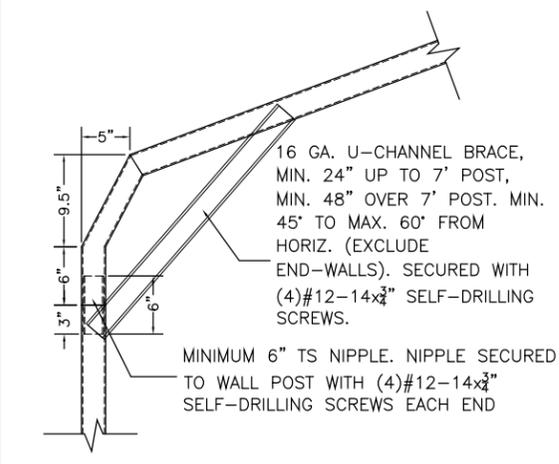
REVISIONS

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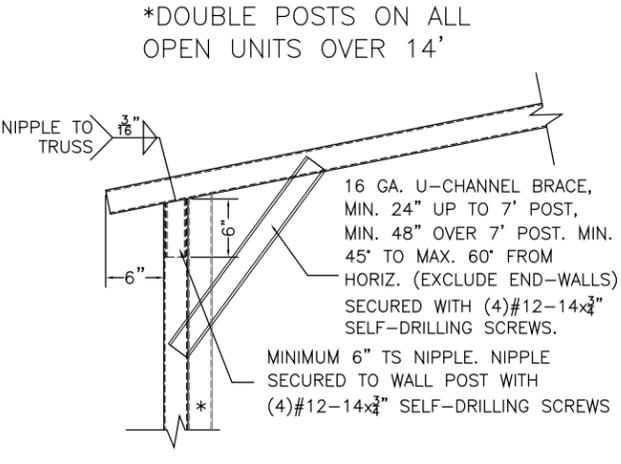
Drawn By: MTB
 Date: 5/27/20
 Location: FLORIDA
 OPEN GENERIC ENGINEERING

GENERAL NOTES

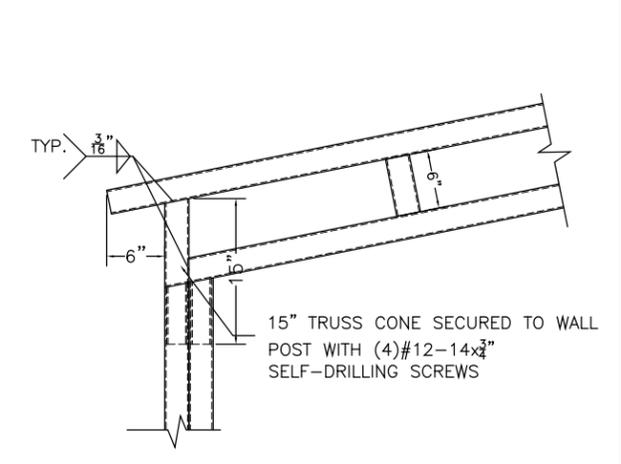
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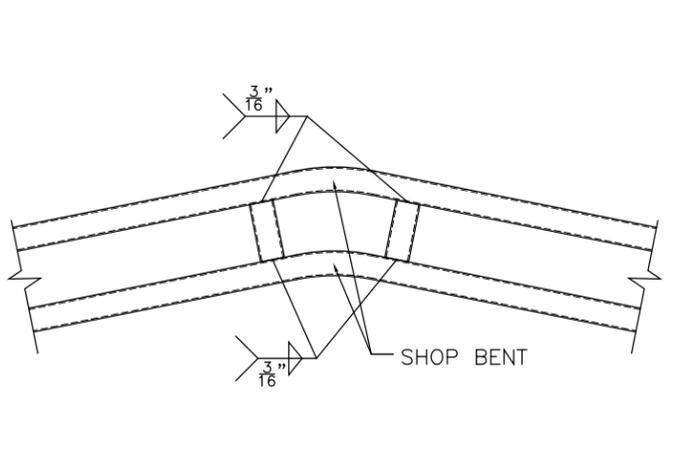
BOW RAFTER TO POST CONNECTION DETAIL



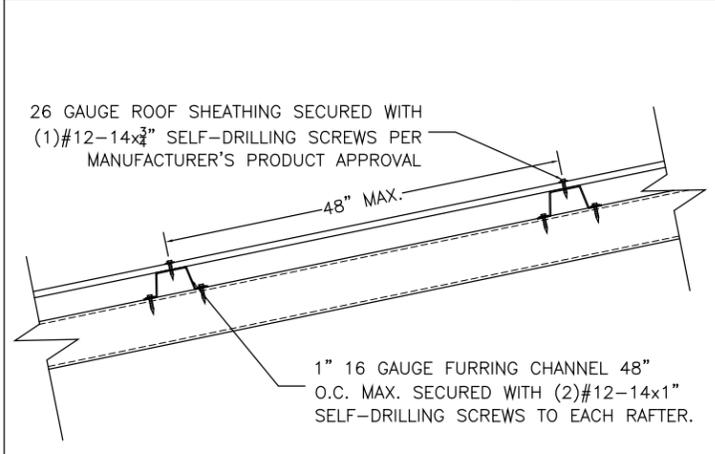
BOX EAVE RAFTER TO POST CONNECTION DETAIL



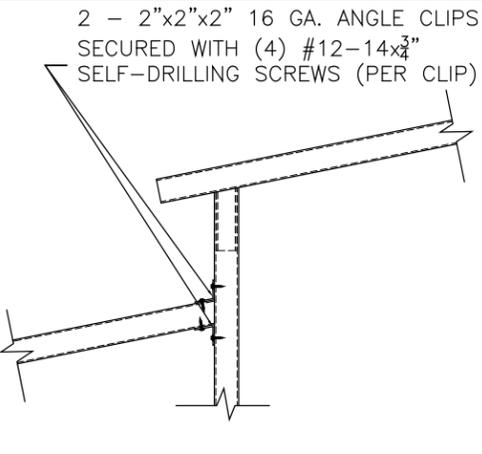
40' BOX EAVE RAFTER TO POST CONNECTION DETAIL



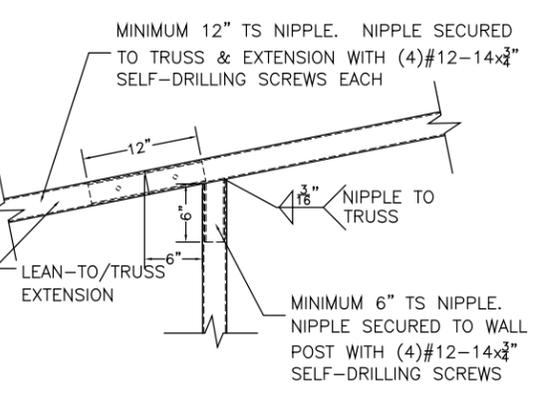
TRUSSED RAFTER CONNECTION DETAIL



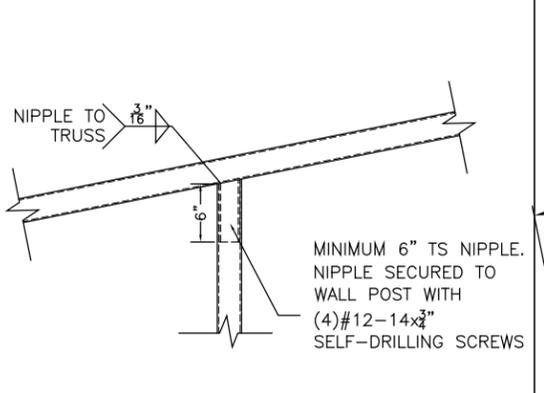
ROOF PANEL CONNECTION VERTICAL SHEATHING OPTION



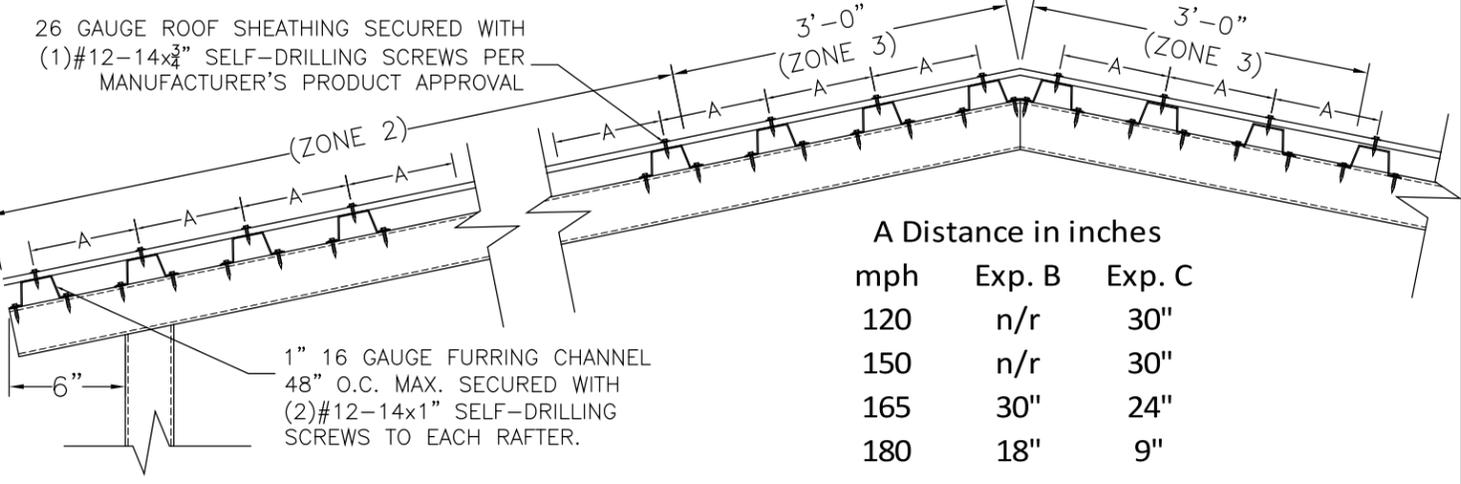
LEAN-TO TO TRUSS CONNECTION



LEAN-TO TO TRUSS CONNECTION



POST TO TRUSS CONNECTION



EAVE & RIDGE REINFORCED ROOF PANEL CONNECTION (RIDGE 3r AND EAVE 3e)

A Distance in inches

mph	Exp. B	Exp. C
120	n/r	30"
150	n/r	30"
165	30"	24"
180	18"	9"

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MATTHEW T. BALDWIN, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

TITLE: DETAILS

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HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	

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TITLE: LAYOUT VIEWS

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Sheet: CA-3 OF 3

